

THE LODGE & THE RESORT AT TAOS SKI VALLEY  
PRELIMINARY PLAT SUBMITTAL

OCTOBER 2019

# THE LODGE & THE RESORT AT TAOS SKI VALLEY

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VILLAGE OF  
TAOS SKI VALLEY

BULL OF THE  
WOODS MTN.

TAOS SKI VALLEY  
PROJECT SITE (74.69 ACRES)

LOST  
LAKE

LA CAL  
BASIN



### SITE LOCATION





KACHINA ROAD

THE RESORT

THE RESORT VILLAS

THE LODGE

THE LODGE VILLAS NORTH

THE LODGE VILLAS SOUTH

## EXISTING AERIAL WITH PROPOSED SITE PLAN

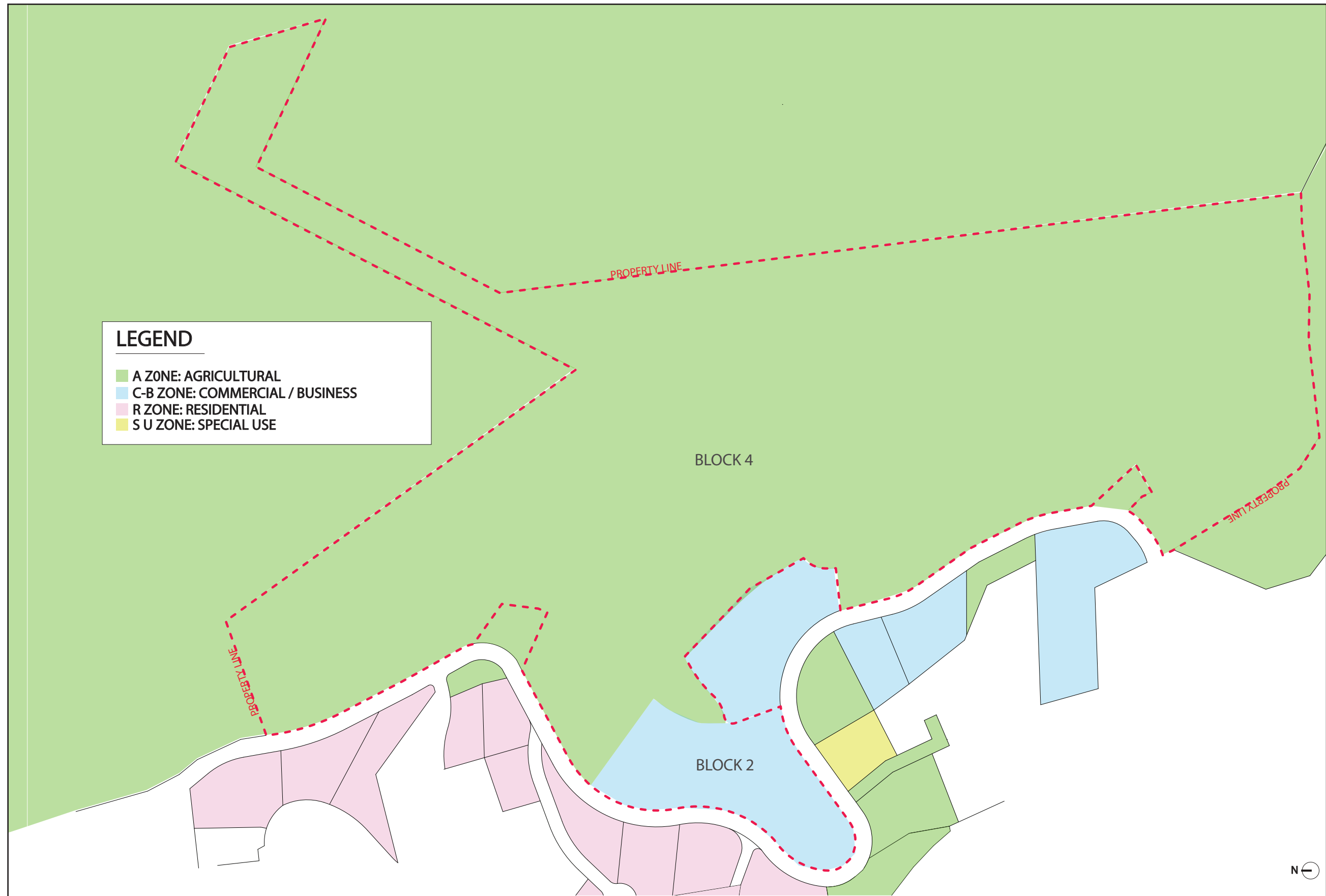
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## EXISTING SITE PHOTOS



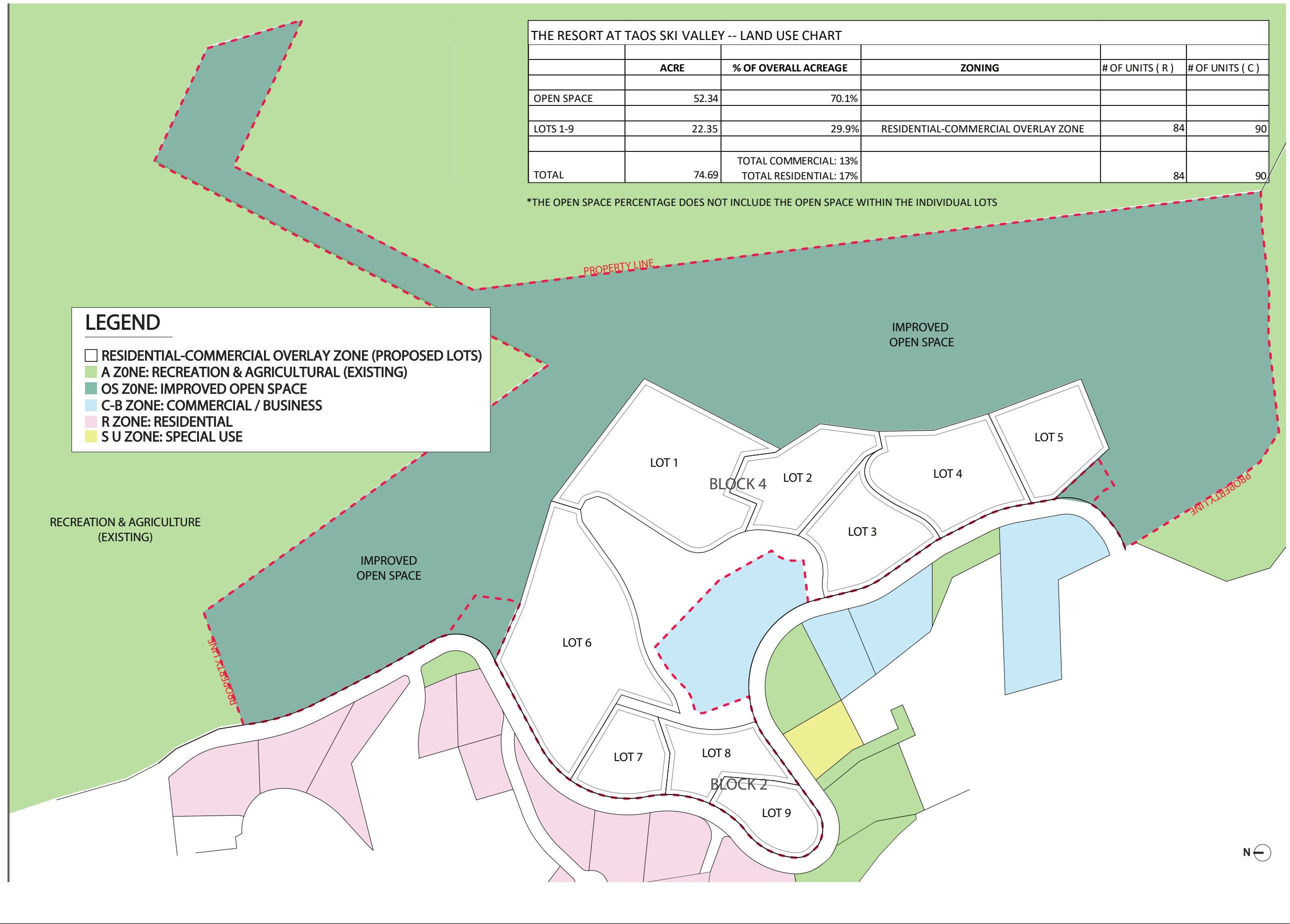


THE RESORT AT TAOS SKI VALLEY -- LAND USE CHART					
	ACRE	% OF OVERALL ACREAGE	ZONING	# OF UNITS ( R )	# OF UNITS ( C )
OPEN SPACE	52.34	70.1%			
LOTS 1-9	22.35	29.9%	RESIDENTIAL-COMMERCIAL OVERLAY ZONE	84	90
TOTAL	74.69	TOTAL COMMERCIAL: 13% TOTAL RESIDENTIAL: 17%		84	90

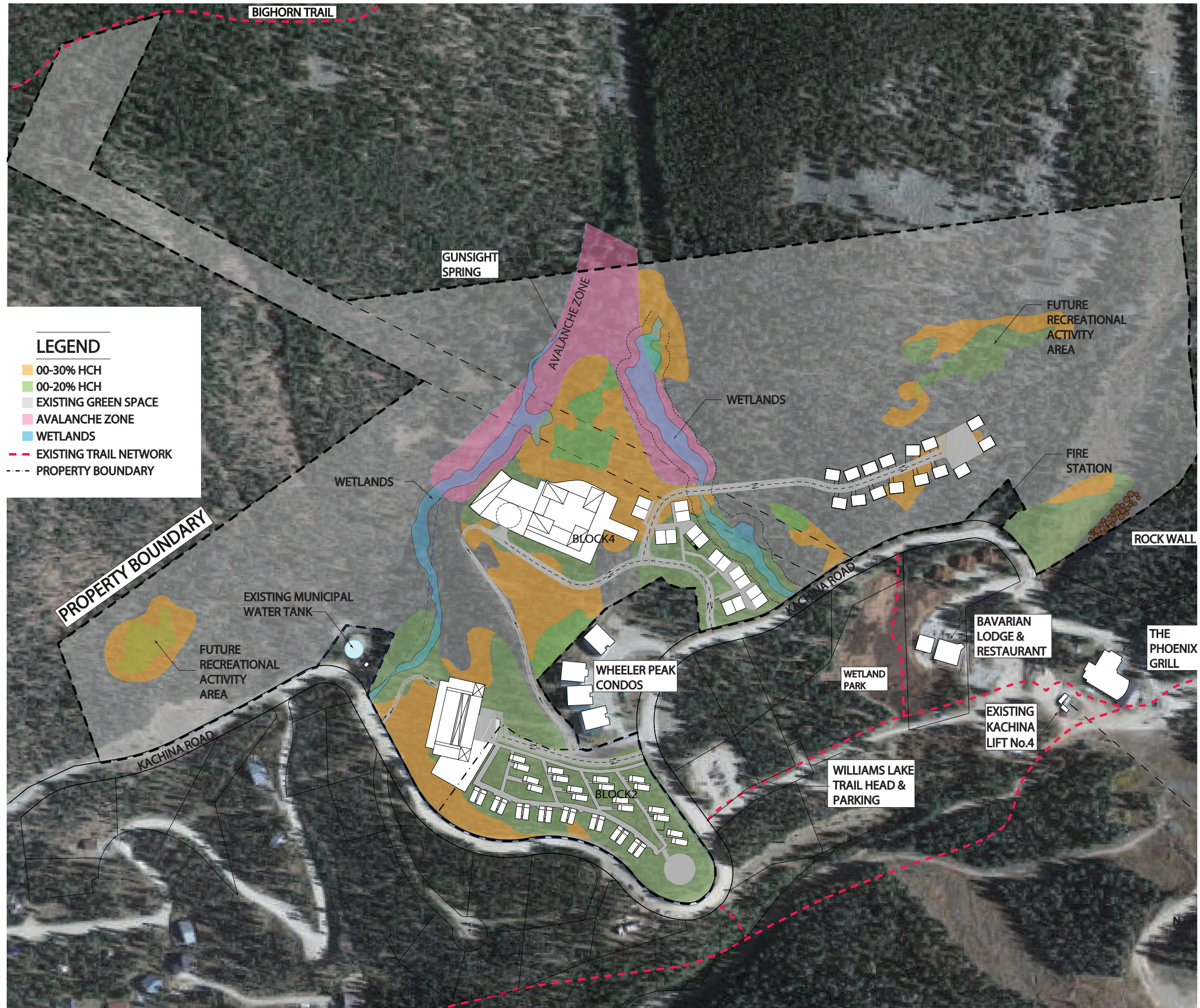
\*THE OPEN SPACE PERCENTAGE DOES NOT INCLUDE THE OPEN SPACE WITHIN THE INDIVIDUAL LOTS

**LEGEND**

- RESIDENTIAL-COMMERCIAL OVERLAY ZONE (PROPOSED LOTS)
- A ZONE: RECREATION & AGRICULTURAL (EXISTING)
- OS ZONE: IMPROVED OPEN SPACE
- C-B ZONE: COMMERCIAL / BUSINESS
- R ZONE: RESIDENTIAL
- S U ZONE: SPECIAL USE



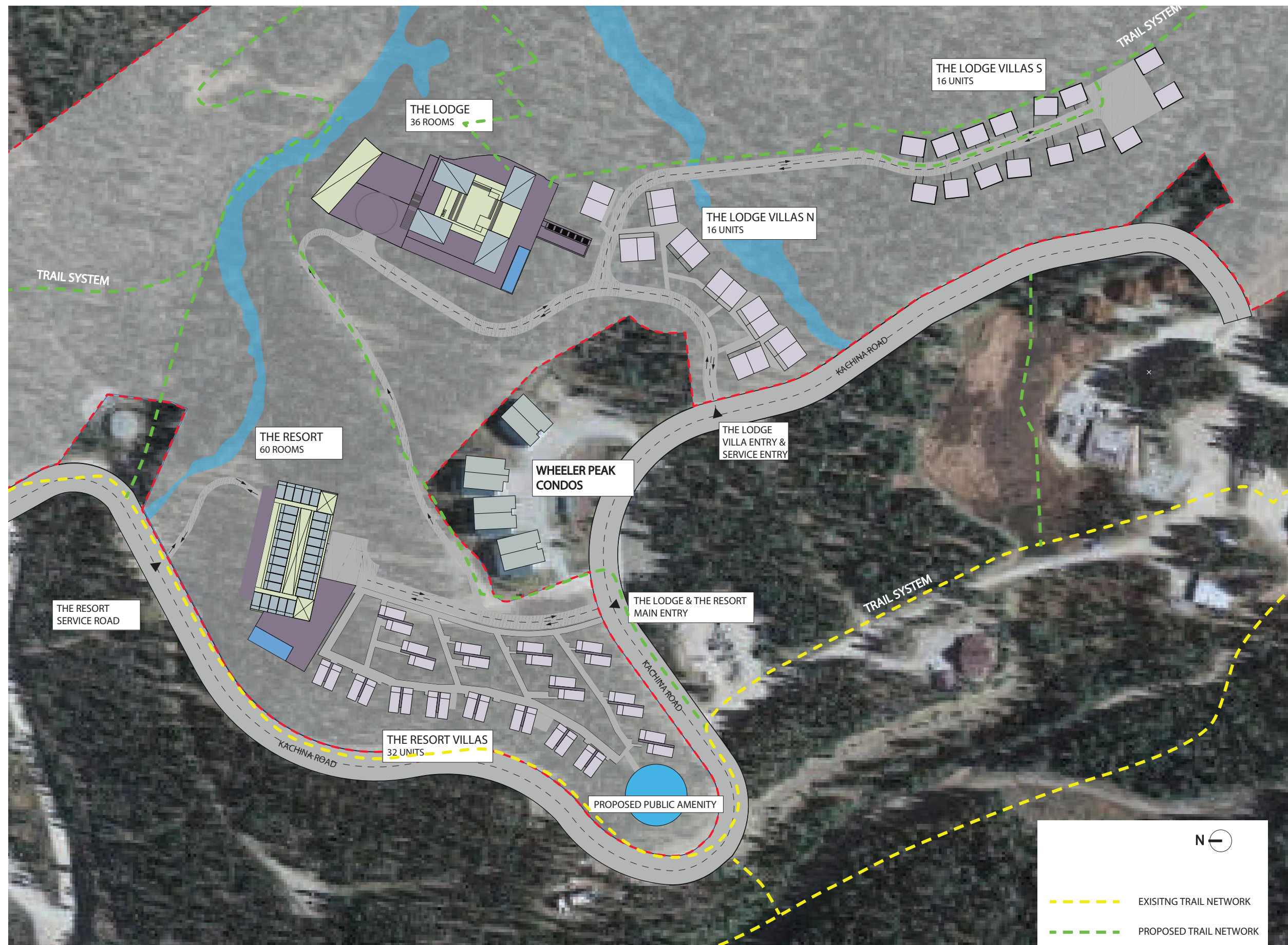




VICINITY MAP

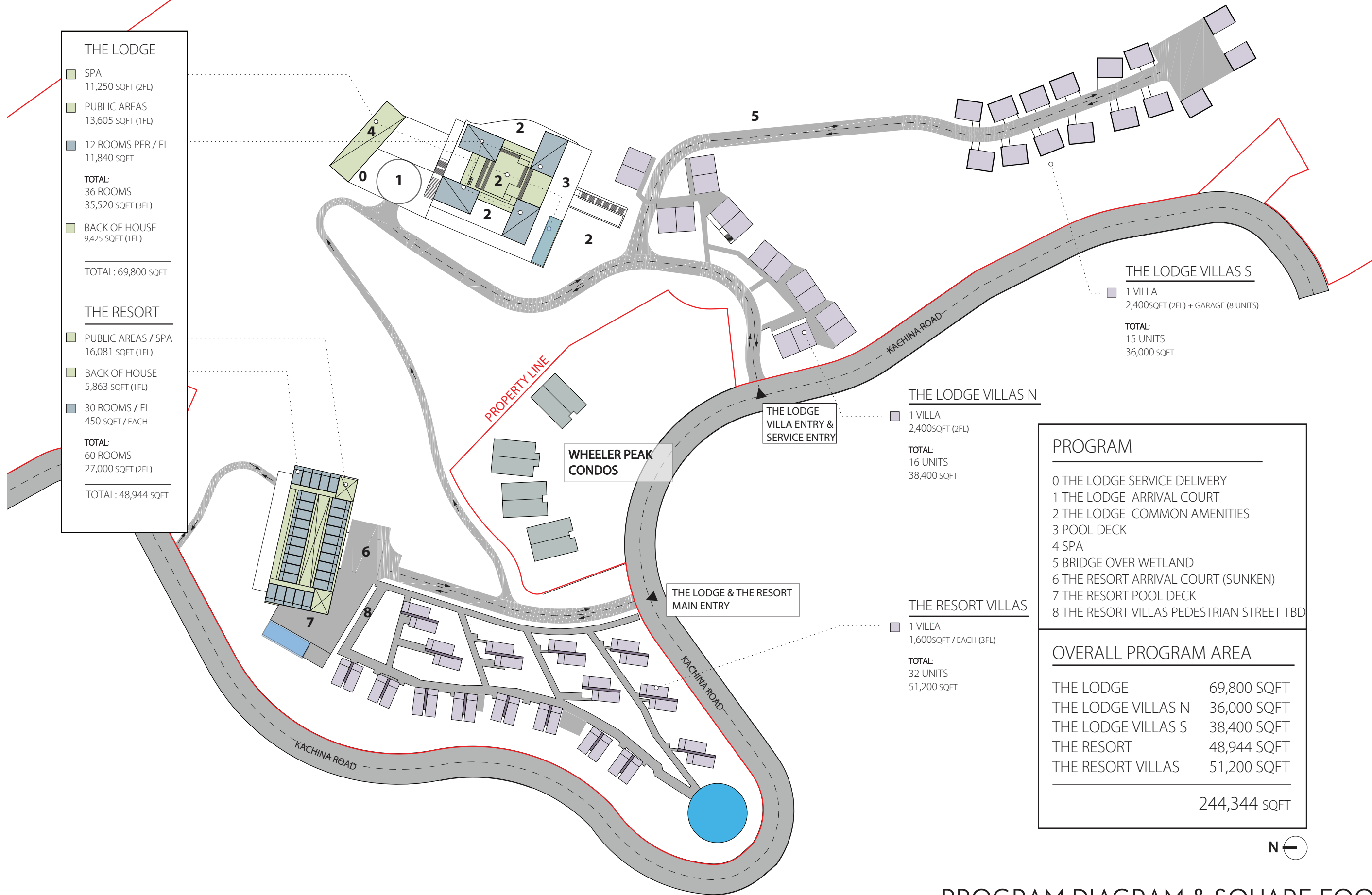
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**PROPOSED SITE PLAN**

THE LODGE & THE RESORT AT TAOS SKI VALLEY  
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**THE LODGE**

- SPA  
11,250 SQFT (2FL)
- PUBLIC AREAS  
13,605 SQFT (1FL)
- 12 ROOMS PER / FL  
11,840 SQFT

**TOTAL:**  
36 ROOMS  
35,520 SQFT (3FL)

- BACK OF HOUSE  
9,425 SQFT (1FL)

**TOTAL: 69,800 SQFT**

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**THE RESORT**

- PUBLIC AREAS / SPA  
16,081 SQFT (1FL)
- BACK OF HOUSE  
5,863 SQFT (1FL)
- 30 ROOMS / FL  
450 SQFT / EACH

**TOTAL:**  
60 ROOMS  
27,000 SQFT (2FL)

**TOTAL: 48,944 SQFT**

**THE LODGE VILLAS S**

- 1 VILLA  
2,400SQFT (2FL) + GARAGE (8 UNITS)

**TOTAL:**  
15 UNITS  
36,000 SQFT

**THE LODGE VILLAS N**

- 1 VILLA  
2,400SQFT (2FL)

**TOTAL:**  
16 UNITS  
38,400 SQFT

**THE RESORT VILLAS**

- 1 VILLA  
1,600SQFT / EACH (3FL)

**TOTAL:**  
32 UNITS  
51,200 SQFT

- PROGRAM**
- 0 THE LODGE SERVICE DELIVERY
  - 1 THE LODGE ARRIVAL COURT
  - 2 THE LODGE COMMON AMENITIES
  - 3 POOL DECK
  - 4 SPA
  - 5 BRIDGE OVER WETLAND
  - 6 THE RESORT ARRIVAL COURT (SUNKEN)
  - 7 THE RESORT POOL DECK
  - 8 THE RESORT VILLAS PEDESTRIAN STREET TBD

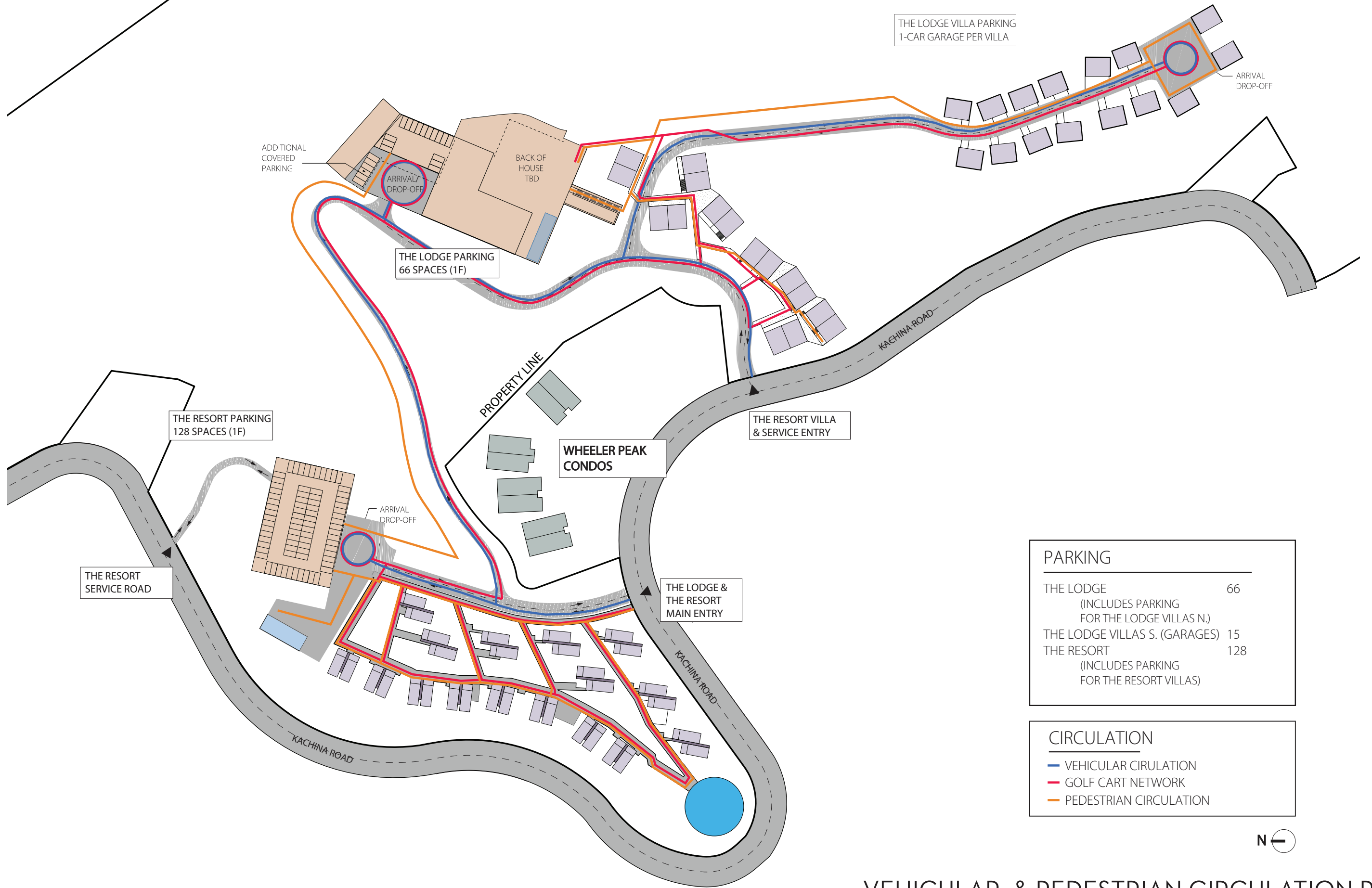
**OVERALL PROGRAM AREA**

THE LODGE	69,800 SQFT
THE LODGE VILLAS N	36,000 SQFT
THE LODGE VILLAS S	38,400 SQFT
THE RESORT	48,944 SQFT
THE RESORT VILLAS	51,200 SQFT
<b>TOTAL</b>	<b>244,344 SQFT</b>



**PROGRAM DIAGRAM & SQUARE FOOTAGE**  
 THE LODGE & THE RESORT AT TAOS SKI VALLEY  
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PARKING	
THE LODGE (INCLUDES PARKING FOR THE LODGE VILLAS N.)	66
THE LODGE VILLAS S. (GARAGES)	15
THE RESORT (INCLUDES PARKING FOR THE RESORT VILLAS)	128

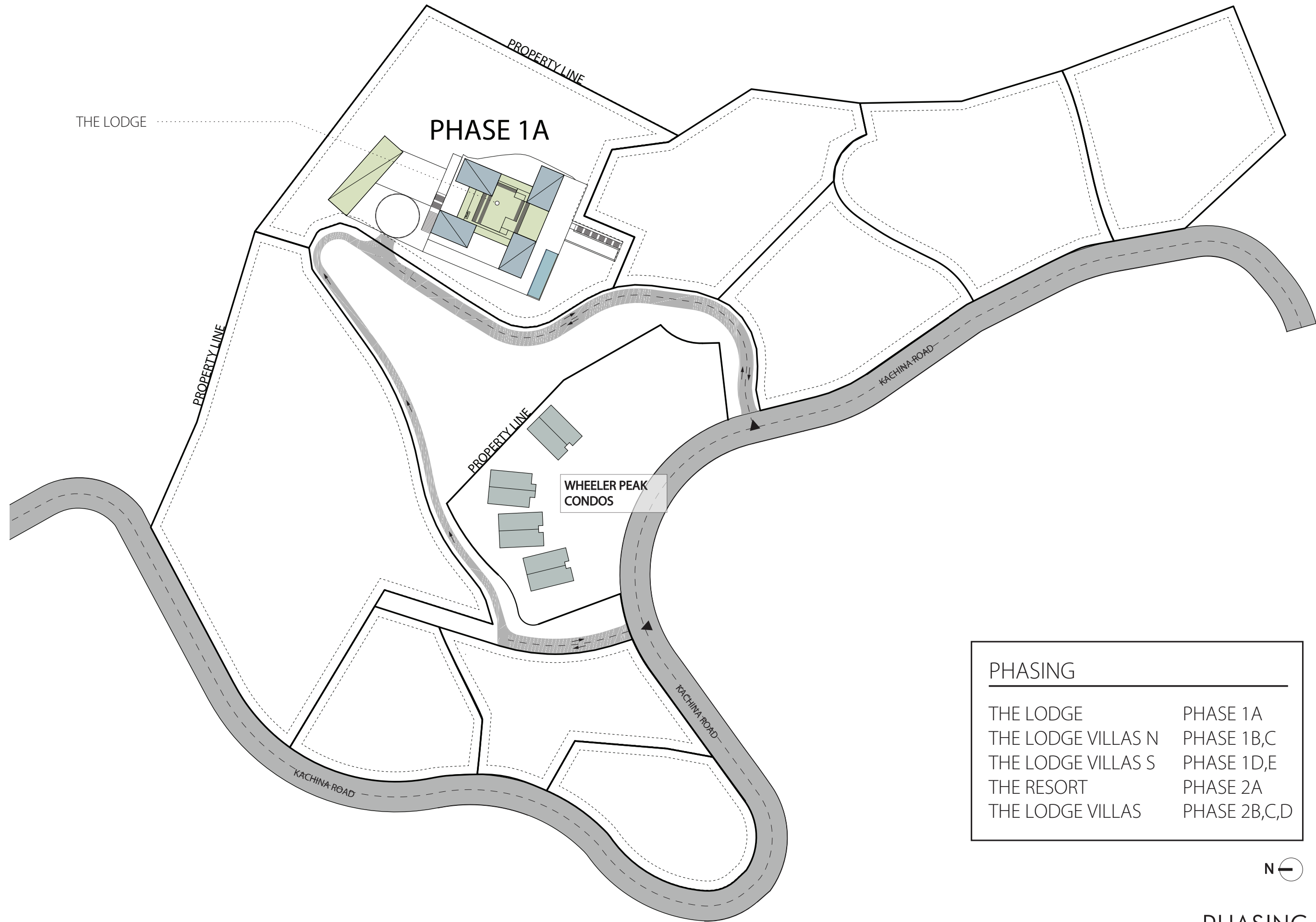
CIRCULATION	
—	VEHICULAR CIRCULATION
—	GOLF CART NETWORK
—	PEDESTRIAN CIRCULATION



# VEHICULAR & PEDESTRIAN CIRCULATION PLAN

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VILLAGE OF TAOS SKI VALLEY PARKING TABULATION					
	AREA (SQFT)	AMT PROVIDED	CODE REFERENCE	NOTES	
<b>THE LODGE PARKING TABULATION</b>					
30 HOTEL ROOMS		30	2.2 Clubs: one space per three members plus one space for every five employees each shift.	Assumes some guests to be shuttled in from off-site parking.	
PUBLIC SPACE	10530	10	2.6 Hotels and Motels: one space per 300 square feet of public area plus one space per every five employees per shift.	Assumes public space is limited to guest use only. Assumes 25 staff max per shift (per Steven Scott)	
SPA	10500	5		Assumes spa is limited to guest use only.	
BOH/STAFF	9425	5	2.6 Hotels and Motels: one space per 300 square feet of public area plus one space per every five employees per shift.	BOH/Staff count covered in "Public Space"	
PHASE 1 VILLAS (16 TOTAL)		16	2.4.a In CVZ and CB zones (as delineated on Village Zoning Map): one space per dwelling unit plus one ADA parking space for every unit which is ADA accessible and/or fitted.		
PHASE 2 VILLAS (15 TOTAL)		15	2.4.a In CVZ and CB zones (as delineated on Village Zoning Map): one space per dwelling unit plus one ADA parking space for every unit which is ADA accessible and/or fitted.	Phase 2 Nama Villas to have 1-car garage / villa	
<b>TOTAL:</b>		<b>81</b>			
<b>THE RESORT PARKING TABULATION</b>					
60 HOTEL ROOMS		20	2.2 Clubs: one space per three members plus one space for every five employees each shift.	Assumes some guests to be shuttled in from off-site parking.	
PUBLIC SPACE	11011	43	2.6 Hotels and Motels: one space per 300 square feet of public area plus one space per every five employees per shift.	Assumes 30 staff max per shift (per Steven Scott)	
SPA	5070	10	2.7 Offices, retail, and service establishments: one space per 500 square feet		
BOH/STAFF	5863	23	2.6 Hotels and Motels: one space per 300 square feet of public area plus one space per every five employees per shift.	BOH/Staff count covered in "Public Space"	
VILLAS/APARTMENTS		32	2.4.a In CVZ and CB zones (as delineated on Village Zoning Map): one space per dwelling unit plus one ADA parking space for every unit which is ADA accessible and/or fitted.		
<b>TOTAL:</b>		<b>128</b>			

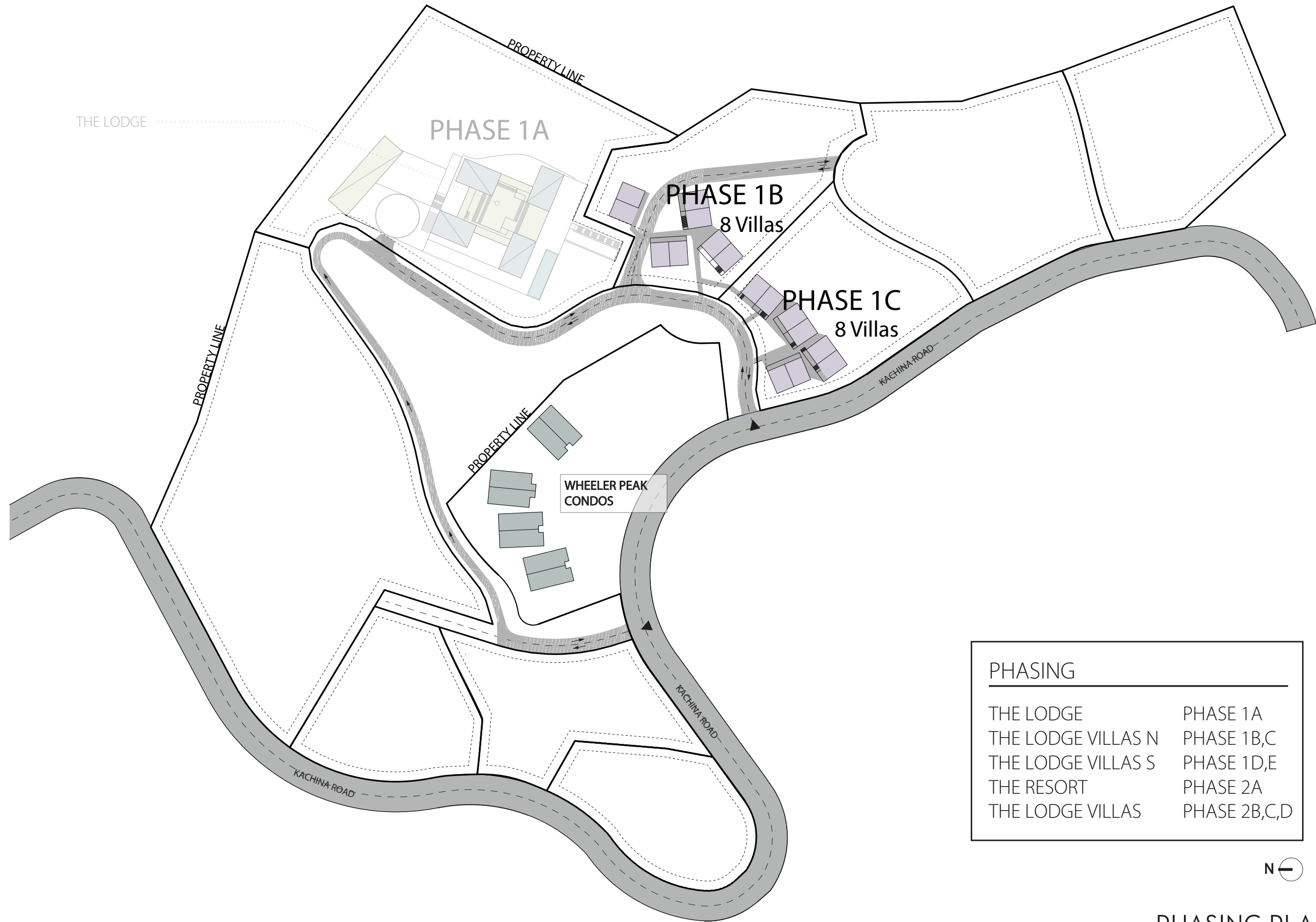


PHASING	
THE LODGE	PHASE 1A
THE LODGE VILLAS N	PHASE 1B,C
THE LODGE VILLAS S	PHASE 1D,E
THE RESORT	PHASE 2A
THE LODGE VILLAS	PHASE 2B,C,D



PHASING PLAN - 1A

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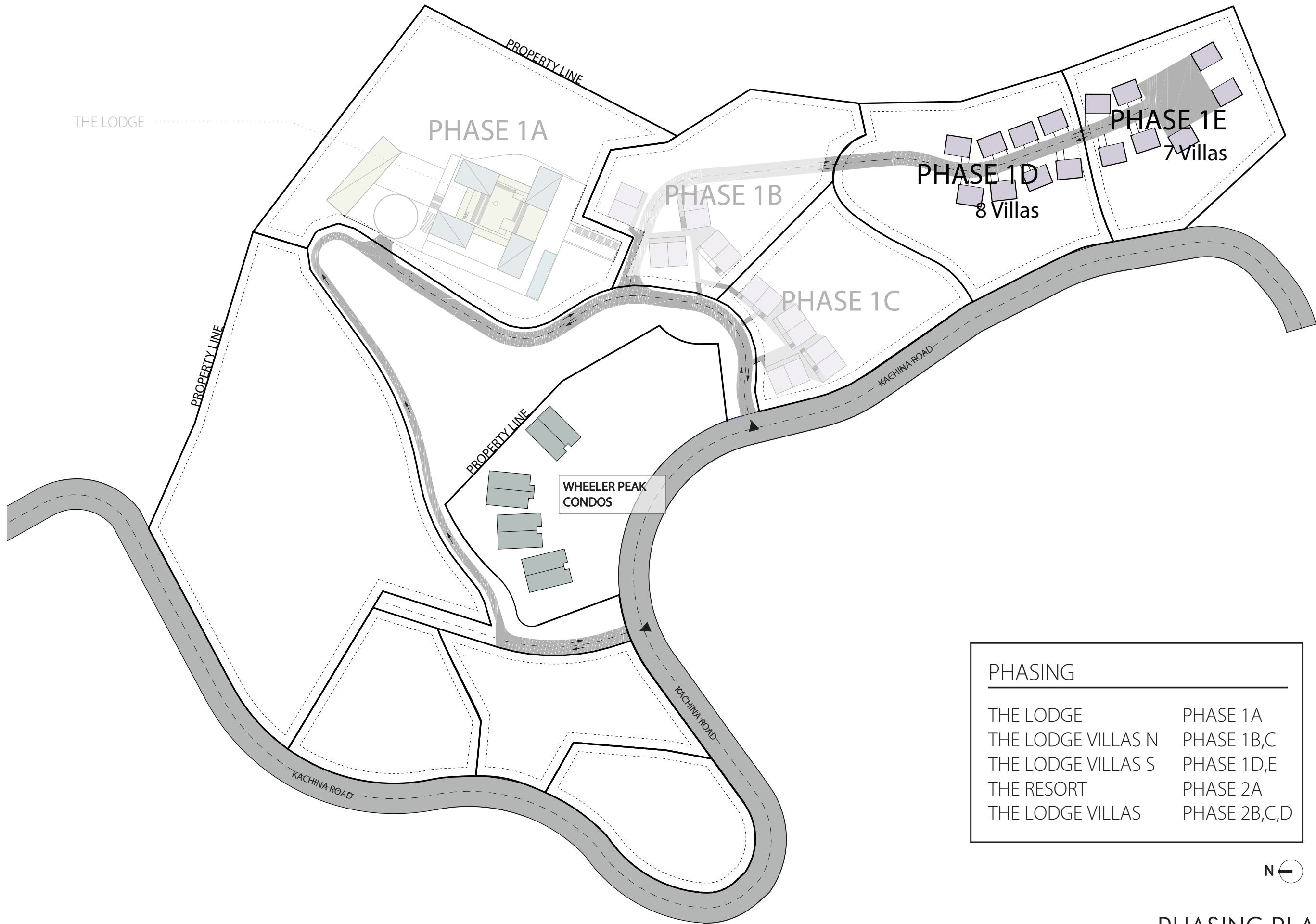


PHASING	
THE LODGE	PHASE 1A
THE LODGE VILLAS N	PHASE 1B,C
THE LODGE VILLAS S	PHASE 1D,E
THE RESORT	PHASE 2A
THE LODGE VILLAS	PHASE 2B,C,D



**PHASING PLAN - 1B + 1C**

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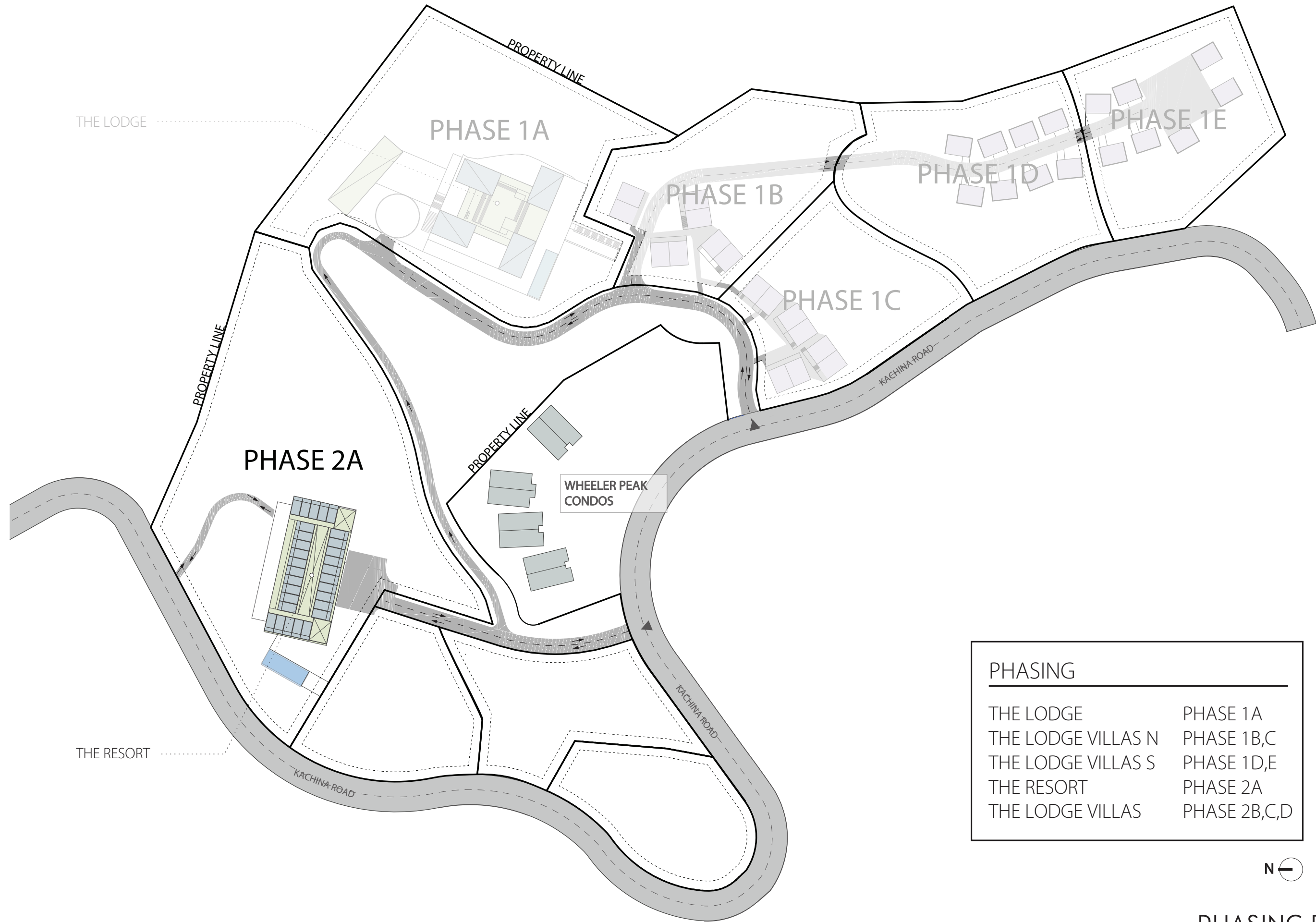
PHASING	
THE LODGE	PHASE 1A
THE LODGE VILLAS N	PHASE 1B,C
THE LODGE VILLAS S	PHASE 1D,E
THE RESORT	PHASE 2A
THE LODGE VILLAS	PHASE 2B,C,D

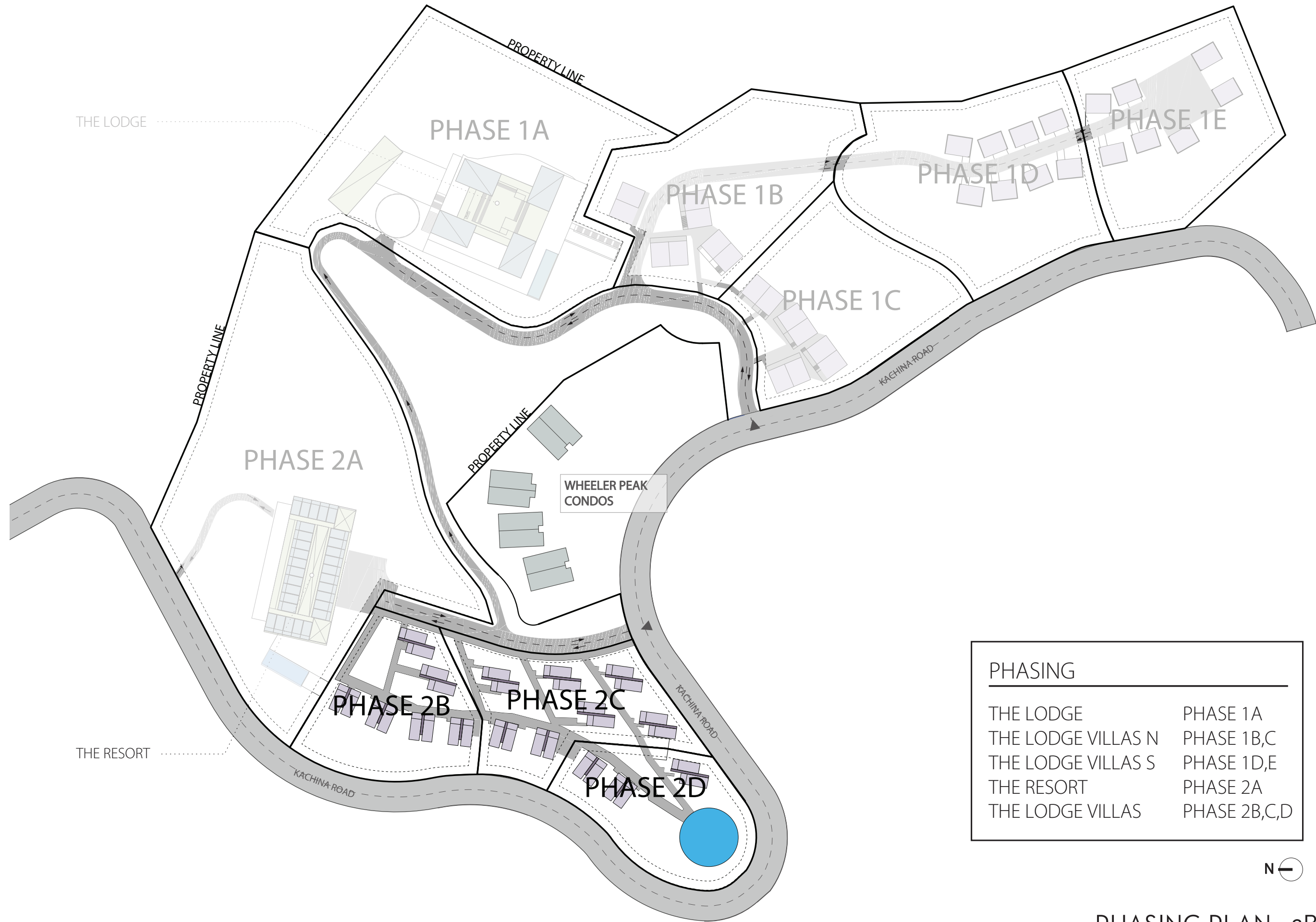


**PHASING PLAN - 1D + 1E**

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PHASING	
THE LODGE	PHASE 1A
THE LODGE VILLAS N	PHASE 1B,C
THE LODGE VILLAS S	PHASE 1D,E
THE RESORT	PHASE 2A
THE LODGE VILLAS	PHASE 2B,C,D



### PHASING PLAN - 2B + 2C + 2D

THE LODGE & THE RESORT AT TAOS SKI VALLEY  
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▼ HP ROOF +332

▼ LOBBY +296

▼ TERRACE +284

▼ AUTOCOURT +274

PARKING

AUTOCOURT

## SECTION A - THE LODGE

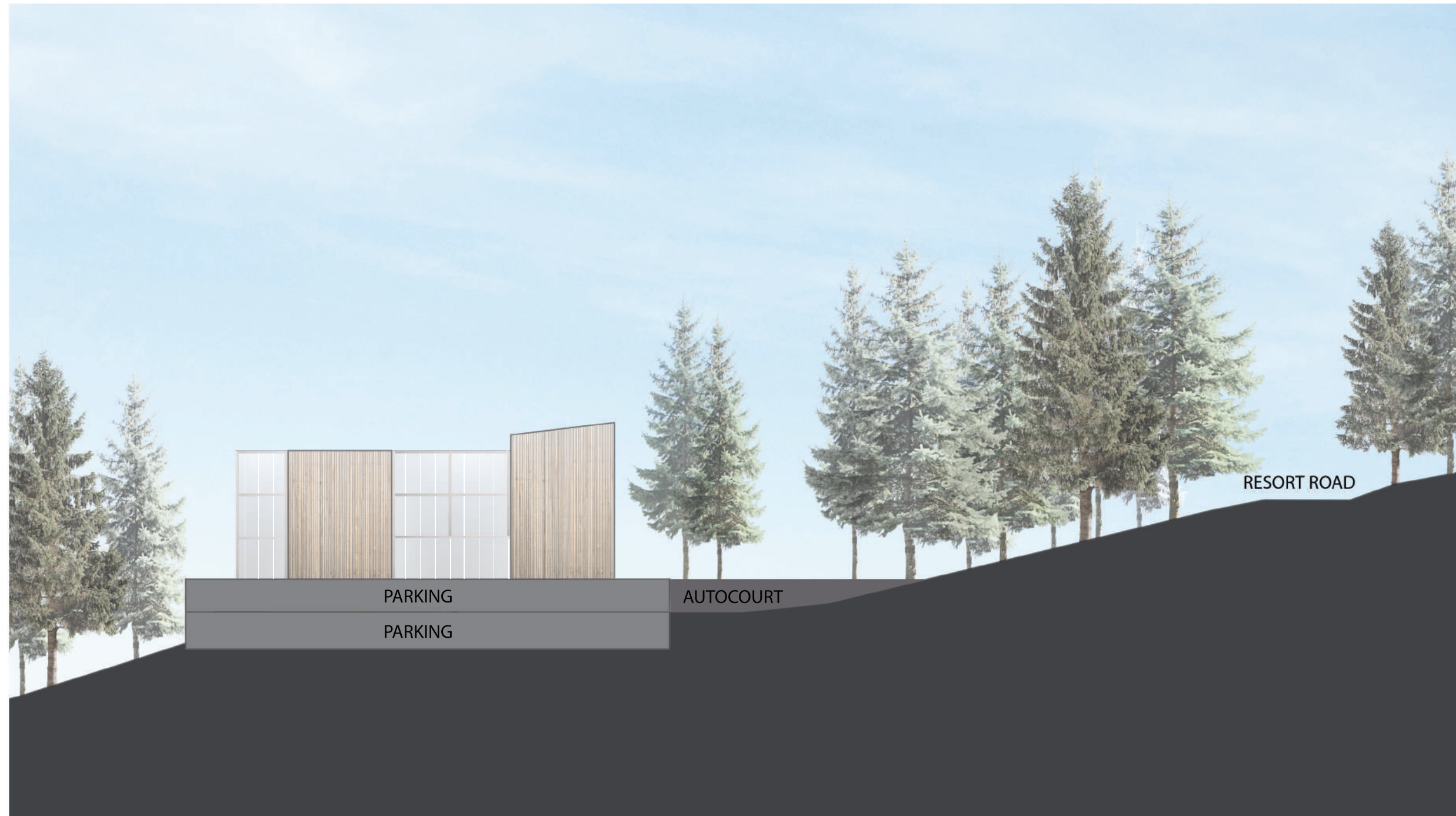


HP ROOF +231 ▼

HOTEL MAIN LEVEL +195 ▼

AUTOCOURT +185 ▼

LOWER LEVEL PARKING +175 ▼



RESORT ROAD

PARKING

AUTOCOURT

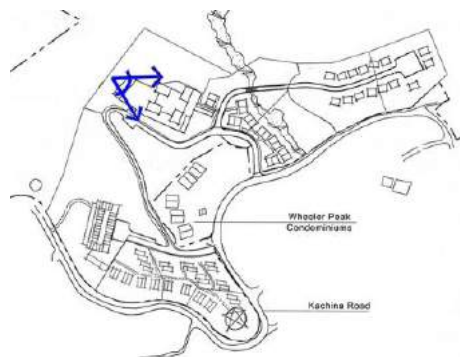
PARKING

## SECTION B - THE RESORT

## ARTIST IMPRESSIONS

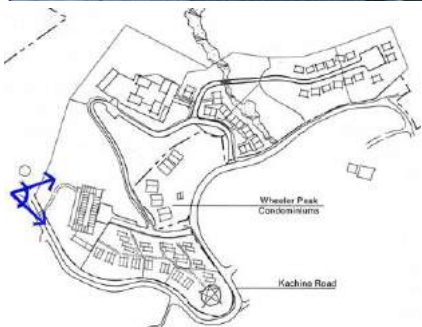
- 1 THE LODGE
- 2 THE RESORT
- 3 THE LODGE VILLAS
- 4 THE RESORT VILLAS



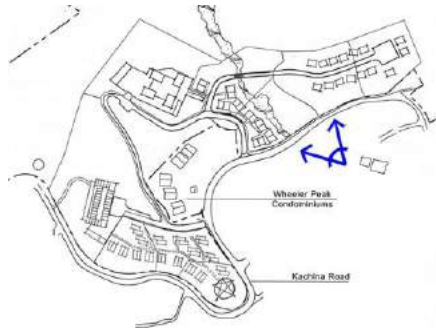


## THE LODGE









## THE LODGE VILLAS

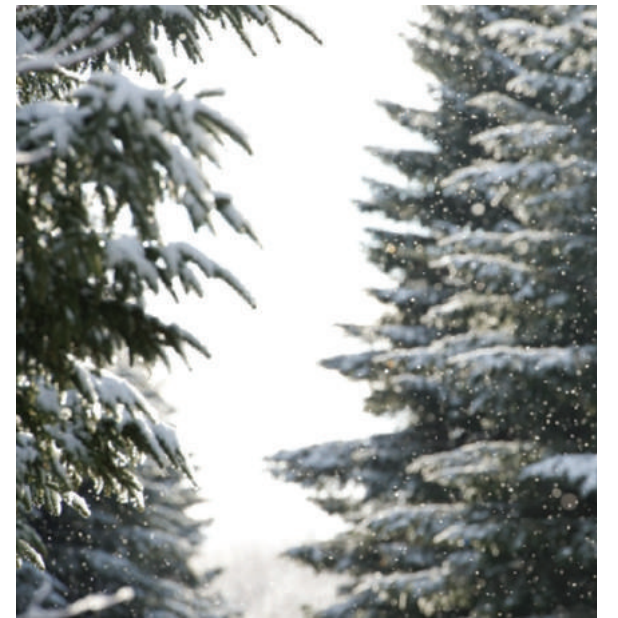






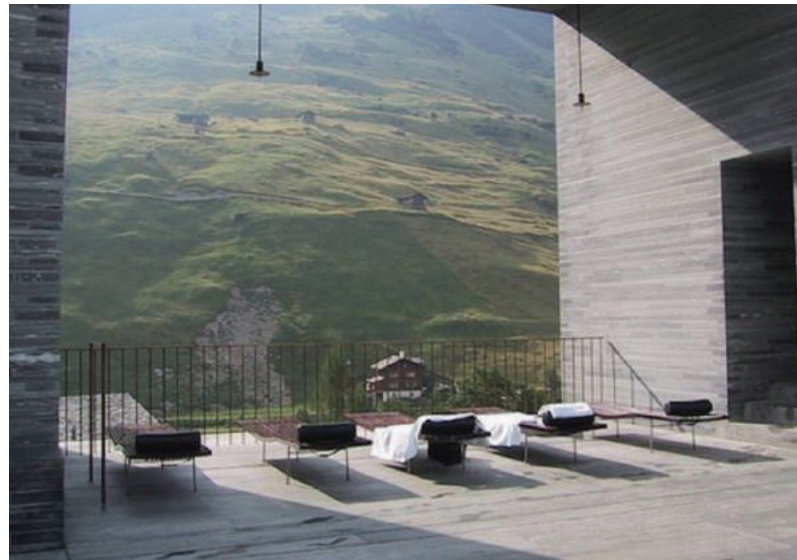
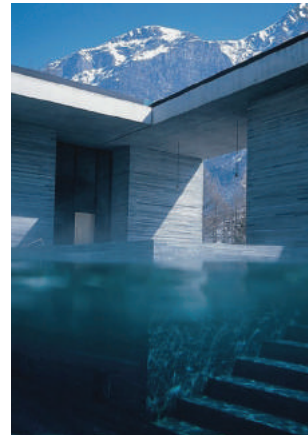






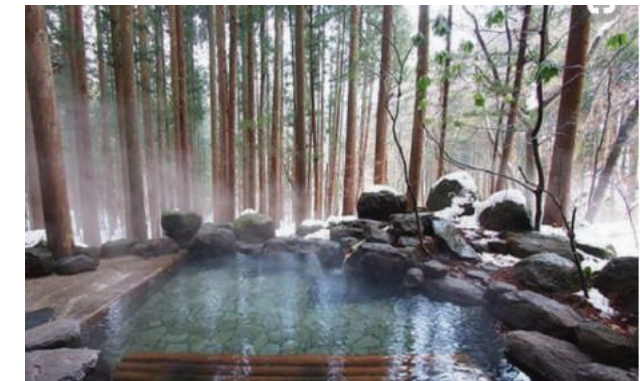
MOODBOARDS : ARCHITECTURE & SITE MATERIALITY





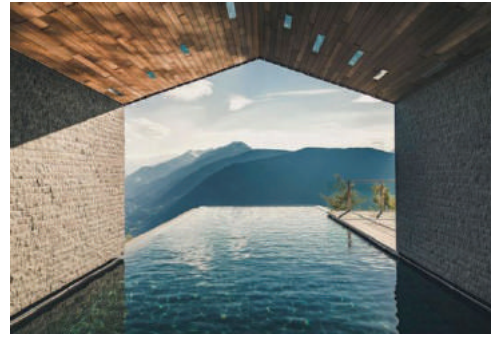
## ARCHITECTURE & MATERIALITY : THE LODGE





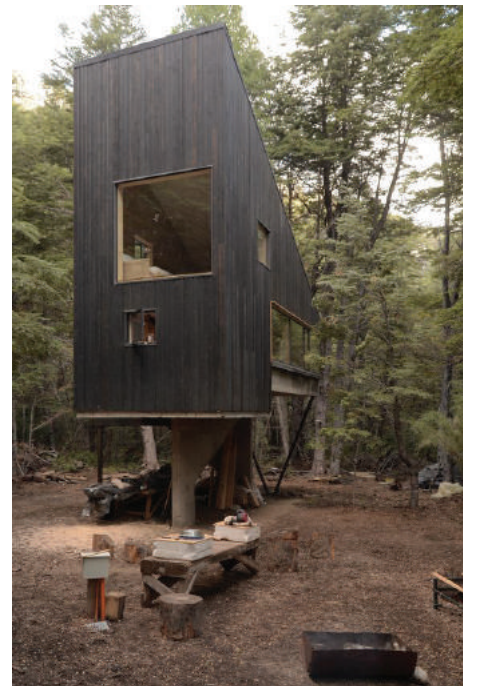
## ARCHITECTURE & MATERIALITY : THE LODGE VILLAS





## ARCHITECTURE & MATERIALITY : THE RESORT





## ARCHITECTURE & MATERIALITY : THE RESORT VILLAS



### GENERAL NOTES

- SOUDER, MILLER AND ASSOCIATES SHALL HEREINAFTER BE KNOWN AS THE ENGINEER. THERE WILL BE A PERSON WHO WILL BE THE CONTACT FOR QUESTIONS FROM THE CONTRACTOR TO THE ENGINEER.
- THERE WILL BE A PERSON OR PERSONS (HEREINAFTER KNOWN AS THE OWNER'S REPRESENTATIVE) CHOSEN BY OWNER (HEREINAFTER KNOWN AS THE OWNER) TO ACT AS A CONTACT PERSON BETWEEN THE ENGINEER AND THE OWNER. THE OWNER'S REPRESENTATIVE WILL OBSERVE AND PROVIDE INFORMATION, AND PROVIDE CRITICAL LOCATIONS THROUGH THE ENGINEER TO THE CONTRACTOR IN THE FIELD.
- THE ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND IS NOT LIABLE FOR PROBLEMS THAT MAY ARISE FROM THE CONTRACTOR'S FAILURE TO FOLLOW THESE DRAWINGS, SPECIFICATIONS, AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS ARISING FROM FAILURE TO OBTAIN AND/OR FOLLOW THE ENGINEER'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS.
- CONTRACTOR SHALL CONFINe ALL CONSTRUCTION OPERATIONS TO THE LIMITS OF THE PROJECT EASEMENTS DEFINED IN THESE DRAWINGS, AND IN NO WAY ENCRoACH ONTO ADJACENT PROPERTIES, UNLESS LEGAL EASEMENTS ARE PROVIDED. CONTRACTOR SHALL BE HELD SOLELY RESPONSIBLE FOR ANY AGREEMENTS NEEDED, OR DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES TO PUBLIC OR PRIVATE PROPERTY, INCLUDING UTILITIES.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTING THE PROJECT ACCORDING TO CURRENT NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (NMSSPWC) APWA SPECS AND STANDARDS, INCLUDING WHERE PARTICULAR WORK ITEMS ARE NOT SPECIFIED HEREIN.
- CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS AS SET FORTH IN THE TECHNICAL SPECIFICATIONS AND CONTRACT DOCUMENTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT THE ENGINEER REGARDING ANY QUESTION ARISING FROM ANY ASPECT OF THIS PROJECT NOT SPECIFICALLY COVERED IN THE PLANS AND TECHNICAL SPECIFICATIONS, OR ANY CHANGES OR CORRECTIONS TO THE PLANS AND SPECS.
- CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN FOR CONSTRUCTION FOR APPROVAL BY COUNTY AND ENGINEER.
- THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY, WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL (OSHA), STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING SAFETY AND HEALTH. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926, SUBPART P - EXCAVATIONS.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR OBTAINING BUILDING PERMITS, ROAD CROSSING PERMITS AND ANY OTHER PERMITS, WHICH HAVE NOT ALREADY BEEN OBTAINED BY THE OWNER OR ENGINEER.
- CONTRACTOR SHALL PROVIDE ALL TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH SPECIFICATIONS FOR ROAD AND ANY APPLICABLE SPECIAL PROVISION AND/OR SUPPLEMENTAL SPECIFICATION, AS WELL AS THE MOST CURRENT EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, UNLESS OTHERWISE SPECIFIED HEREIN.
- AS PART OF THE TRAFFIC CONTROL PLAN AND TRAFFIC CONTROL MANAGEMENT, THE CONTRACTOR SHALL HAVE PERSONNEL AVAILABLE 24 HOURS PER DAY, 7 DAYS PER WEEK, TO INSPECT AND MAINTAIN DETOURS AND TRAFFIC CONTROL DEVICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REMOVALS REQUIRED BY THE PLANS WHETHER SPECIFICALLY LISTED OR NOT TO COMPLETE THE PROJECT. THIS WORK WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND THE CONTRACTOR WILL NOT RECEIVE ADDITIONAL COMPENSATION FOR UNLISTED REMOVALS.
- OBSTRUCTIONS REMOVED FROM THE WORK AREAS SHALL BE DISPOSED OF BY THE CONTRACTOR. DISPOSAL OF USABLE MATERIALS (E.G. EXCESS DIRT, GRAVEL, ETC.) SHALL BE AT A SITE DESIGNATED BY THE OWNER DURING CONSTRUCTION. ALL OTHER WASTE SHALL BE DISPOSED OF AT AN APPROVED LANDFILL. ALL DISPOSAL SITES MUST BE APPROVED BY THE ENGINEER AND OWNER PRIOR TO DISPOSAL OF ANY WASTE.
- THE CONTRACTOR SHALL SALVAGE ANY OBSTRUCTIONS NOTED ON THE CONTRACT DRAWINGS AS WELL AS REUSABLE ITEMS FOUND DURING CONSTRUCTION. SUCH ITEMS, IF ANY, SHALL BE DELIVERED TO THE PROPERTY OWNER AS DIRECTED BY THE ENGINEER AND/OR OWNER DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A WATER SOURCE FOR CONSTRUCTION UNLESS OTHERWISE PROVIDED. NO DIRECT PAYMENT WILL BE MADE FOR WATER. ALL PERMITS, FEES, EQUIPMENT, HAUL, ETC. RELATIVE TO OBTAINING WATER SHALL BE CONSIDERED INCIDENTAL.
- THE CONTRACTOR SHALL TAKE ANY NECESSARY MEASURES TO PROTECT HORIZONTAL AND VERTICAL CONTROL SURVEY MONUMENTS FROM DAMAGE DURING CONSTRUCTION. IF DURING EXECUTION OF THE PROJECT, THE CONTRACTOR'S ACTIVITIES DISTURB OR DESTROY SUCH MONUMENTS, THE CONTRACTOR SHALL RE-ESTABLISH THEM IN ACCORDANCE WITH ESTABLISHED STANDARDS AND PROCEDURES.
- CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING DRAINAGE STRUCTURES FREE OF DUST AND/OR CONSTRUCTION DEBRIS AT ALL TIMES DURING THE EXECUTION OF THE PROJECT. ALL EXISTING AND NEW DRAINAGE STRUCTURES SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE OF THE PROJECT. ALL COSTS RELATED TO THIS ITEM SHALL BE INCIDENTAL TO THE WORK AND NO EXTRA PAYMENT SHALL BE MADE TO THE CONTRACTOR.
- CONTRACTOR SHALL REPAIR ANY EXISTING STRUCTURE OR UTILITY DAMAGED DURING THE EXECUTION OF THE PROJECT, AT NO ADDITIONAL COSTS TO THE OWNER.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PROTECTION OF MATERIALS AND EQUIPMENT PRIOR TO AND AFTER THEIR INSTALLATION AS APPLICABLE, UNTIL THE PROJECT'S FINAL ACCEPTANCE BY THE OWNER.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR EROSION CONTROL INCIDENTAL TO THE CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL PREPARE AND MAINTAIN UP-TO-DATE "AS-BUILT" DRAWINGS AS PER THE CONTRACT DOCUMENTS. UPDATING SUCH DRAWINGS SHALL BE DONE NOT LESS THAN ONCE EVERY WEEK. THE OWNER AND ENGINEER'S PROJECT REPRESENTATIVES SHALL BE ALLOWED TO REVIEW THESE DRAWINGS AT ANY TIME DURING CONSTRUCTION. PRIOR TO FINAL ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER COMPLETE AS-BUILT DRAWINGS AS PER CONTRACT DOCUMENTS. TWO SETS OF "AS-BUILT DRAWINGS" WILL BE SUBMITTED, UNLESS NOTED OTHERWISE IN CONTRACT DOCUMENTS. ANY EXISTING UTILITIES NOT SHOWN IN THESE DRAWINGS SHALL BE LOCATED AND SHOWN IN AS-BUILT DRAWINGS.
- CONTRACTOR SHALL SUBMIT ASTM OR AASHTO CERTIFICATES OF MATERIAL'S COMPLIANCE TO THE OWNER'S PROJECT REPRESENTATIVE, NO LESS THAN 5 DAYS PRIOR TO INITIATING ANY WORK INVOLVING SUCH MATERIALS.
- ANY EXCEPTIONS TO PLACEMENT OR DEPTH OF MATERIALS AND EQUIPMENT MUST BE AUTHORIZED BY THE ENGINEER.

### UTILITY NOTES

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH THE LOCATION OF ALL UTILITIES LOCATED WITHIN THE LIMITS OF CONSTRUCTION. THE GENERAL LOCATION OF KNOWN EXISTING UTILITIES SHOWN ON THE CONSTRUCTION DRAWINGS TO INDICATE THAT CAUTION MUST BE EXERCISED WHEN WORKING IN THESE AREAS. IN MANY CASES THE EXACT LOCATION OF THE FACILITIES IS NOT KNOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL OVERHEAD AND UNDERGROUND UTILITIES WITHIN THE VICINITY OF THE NEW CONSTRUCTION. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR, WORKING WITH THE RESPECTIVE UTILITY COMPANIES, SHALL ACCURATELY LOCATE AND MARK ALL BURIED FACILITIES, INCLUDING SERVICE LINES, ALL EQUIPMENT LABOR, ETC. NECESSARY TO PROPERLY LOCATE THE EXISTING UTILITIES SHALL BE FURNISHED BY THE CONTRACTOR, THE COST OF WHICH SHALL BE INCLUDED IN THE UNIT PRICES ON VARIOUS BID ITEMS.
  - CONTRACTOR IS SOLELY RESPONSIBLE FOR UTILITY LOCATION, PROTECTION, AND VERIFICATION. CONTRACTOR MUST NOTIFY NEW MEXICO ONE CALL SYSTEM, INC. AT 811 OR 1-800-321-2537 AND ALL LOCAL UTILITY PROVIDERS THREE (3) DAYS BEFORE STARTING UTILITY CONSTRUCTION.
  - THROUGHOUT THE LIFE OF THE PROJECT, THE CONTRACTOR SHALL KEEP THE EXISTING UTILITY SYSTEMS OPERATING. THE CONTRACTOR SHALL REPORT SHUTOFFS OF ANY OR ALL CONNECTIONS TO THE OWNER AND ENGINEER AT LEAST TWENTY-FOUR (24) HOURS IN ADVANCE OF THE SHUT-OFFS. ALL LOCAL RESIDENTS AND BUSINESSES SHALL BE CONTACTED BEFORE ANY DISCONNECTION OF ANY SERVICE. ANY INTERRUPTION OF SERVICE SHALL BE KEPT TO THE MINIMUM LENGTH OF TIME POSSIBLE.
  - ANY UTILITIES FOR THIS PROJECT SHALL BE INSTALLED TO THE MINIMUM COVER AS SHOWN ON THE CONSTRUCTION DRAWINGS. THIS INCLUDES ANY CROSSING SERVICES OR LATERALS INSTALLED. EXCEPTIONS MUST BE AUTHORIZED BY THE ENGINEER IN WRITING.
  - ALL INSTALLED UTILITY MAINS, LATERALS, AND SERVICES SHALL BE MARKED WITH TRACER WIRE TAPED TO TOP OF PIPE AND DETECTABLE WARNING TAPE WHERE APPLICABLE AT LEAST EIGHTEEN (18) INCHES ABOVE BURIED PIPE, AS PER SPECIFICATIONS AND THESE DRAWINGS.
  - ALL INSTALLED OR OPENED WATERLINES & MATERIALS SHALL BE DISINFECTED PRIOR TO PLACING IN SERVICE AS PER CONTRACT DOCUMENTS.
  - THE CONTRACTOR MAY DEFLECT SANITARY AND WATER MAINS TO THE ALLOWABLE LONGITUDINAL BENDING FOR THE PIPE SPECIFIED.
  - CARE SHALL BE TAKEN TO MAINTAIN PROPER SEPARATION BETWEEN THE VARIOUS UNDERGROUND UTILITIES. NO UTILITY INSTALLATIONS WILL BE ALLOWED WITHIN 10 FEET OF WATER OR SEWER STUB OUTS. NO UTILITY INSTALLATIONS WILL BE ALLOWED WITHIN 10' OF PLANNED OR INSTALLED WATER METERS. UNDERGROUND UTILITIES INSTALLED AT AN IMPROPER LOCATION AS DETERMINED BY THE ENGINEER SHALL BE REPLACED AT THE INSTALLERS EXPENSE.
  - CONTRACTOR SHALL COORDINATE ALL UTILITY WORK WITH NM GAS COMPANY (GAS), COMCAST (CABLE), AND CENTURY LINK (PHONE). CONTRACTOR SHALL PROVIDE TRENCHING AND BACKFILL FOR ALL UTILITIES.
- UTILITY CONTACT INFORMATION:**
- |                        |                |
|------------------------|----------------|
| PNM                    | (888)-342-5766 |
| NEW MEXICO GAS COMPANY | (888)-664-2726 |

### EROSION CONTROL NOTES:

- STORM WATER POLLUTION PREVENTION PLANS AND EROSION CONTROL SHALL BE IMPLEMENTED BY CONTRACTOR TO PROTECT PROPERTIES AND PUBLIC FACILITIES FROM THE ADVERSE EFFECTS OF EROSION AND SEDIMENTATION AS A RESULT OF CONSTRUCTION ACTIVITIES.
- EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AND SHALL BE KEPT IN PLACE UNTIL EROSION AND SEDIMENTATION POTENTIAL IS MITIGATED. REMOVAL OF SILT AND SEDIMENT IS REQUIRED ONCE SILT AND SEDIMENT HAS REACHED HALF THE HEIGHT OF THE SILT FENCE.
- EROSION CONTROL DEVICES SHALL BE CHECKED AND MAINTAINED PER USEPA REQUIREMENTS AND THE GENERAL CONSTRUCTION PERMIT.

### ENVIRONMENTAL NOTES

- CONTRACTOR SHALL COMPLY WITH ALL ENVIRONMENTAL REQUIREMENTS IMPOSED BY THE NEW MEXICO ENVIRONMENTAL DEPARTMENT (NMED) AND ANY OTHER AGENCY WITH JURISDICTION OVER THE PROJECT AREA.
- ALL WORK IN THE VICINITY OF LIVE STREAMS, WATER IMPOUNDMENTS, WETLANDS OR IRRIGATION SUPPLIES SHALL BE EFFECTED IN SUCH A MANNER AS TO MINIMIZE VEGETATION REMOVAL, SOIL DISTURBANCE AND EROSION. CROSSINGS OF LIVE STREAMS WITH HEAVY EQUIPMENT SHALL BE MINIMIZED, AS DETERMINED BY THE PROJECT MANAGER. EQUIPMENT REFUELING, MAINTENANCE AND CEMENT DUMPING IN THE VICINITY OF WATER COURSES IS STRICTLY PROHIBITED AND SHALL BE PERFORMED IN PROPER CONTAINMENT AREAS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING AND CLEANUP OF SPILLS ASSOCIATED WITH PROJECT CONSTRUCTION AND SHALL REPORT AND RESPOND TO SPILLS OF HAZARDOUS MATERIALS SUCH AS GASOLINE, DIESEL, MOTOR OILS, SOLVENTS, CHEMICALS, TOXIC AND CORROSIVE SUBSTANCES, AND OTHER MATERIALS WHICH MAY BE A THREAT TO PUBLIC HEALTH OR THE ENVIRONMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING PAST SPILLS ENCOUNTERED DURING CONSTRUCTION AND OF CURRENT SPILLS NOT ASSOCIATED WITH CONSTRUCTION. REPORTS SHALL BE MADE IMMEDIATELY TO THE NM ENVIRONMENT DEPARTMENT EMERGENCY RESPONSE TEAM AT (505) 827-4308 OR (505) 470-3657 AND TO THE PROJECT ENGINEER. ANY UNREPORTED SPILLS IDENTIFIED AFTER CONSTRUCTION AND THE ASSOCIATED CLEANUP COSTS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- IN THE EVENT THAT THE CONTRACTOR ENCOUNTERS ITEMS OF HISTORICAL IMPORTANCE, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY AND WORK IN THE AREA SHALL IMMEDIATELY CEASE UNTIL THE SITE CAN BE PROPERLY CLEARED.
- ARCHAEOLOGICAL DISCOVERY: NO ARCHAEOLOGICAL SITES ARE TO BE EXCAVATED OR OTHERWISE DISTURBED. THE CONTRACTOR SHALL CONFINe ALL CONSTRUCTION-RELATED ACTIVITIES TO AREAS THAT HAVE RECEIVED PRIOR ARCHAEOLOGICAL CLEARANCE, AS INDICATED BY THE ENGINEER. IF A PREVIOUSLY UNIDENTIFIED ARCHAEOLOGICAL SITE IS DISCOVERED WITHIN THE APPROVED CONSTRUCTION RIGHT-OF-WAY, THE CONTRACTOR SHALL IMMEDIATELY STOP WORK IN THAT AREA AND NOTIFY THE ENGINEER. THE CONTRACTOR SHOULD BE AWARE OF HIS/HER RESPONSIBILITIES UNDER THE HISTORIC PRESERVATION ACT OF 1966.

### DEFINITIONS

THE FOLLOWING DEFINITIONS SHALL APPLY TO THE PROJECT

- |               |   |
|---------------|---|
| 1. OWNER      | SHOPOFF REALTY INVESTMENTS  |
| 2. ARCHITECT  | MASASTUDIO  |
| 3. ENGINEER   | SOUDER, MILLER & ASSOCIATES   |
| 4. CONTRACTOR | THE CONTRACTOR OR GENERAL CONTRACTOR NAMED IN THE CONSTRUCTION CONTRACT WITH OWNER. |

### COMPACTION REQUIREMENTS

- PER THE "GEOTECHNICAL ENGINEERING REPORT" BY TERRACON CONSULTANTS, INC., DATED SEPTEMBER 8, 2017.

### LEGEND

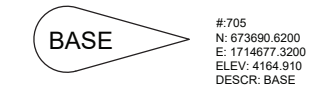
EXISTING IMPROVEMENTS	PROPOSED IMPROVEMENTS
SIZ IN. REBAR FND. (EXCEPT AS NOTED)	DRAINAGE FLOW DIRECTION
TELEPHONE DROP BOX	PROPOSED TOPO MAJOR, 1' INTERVAL
EASEMENT BOUNDARY (AS NOTED)	PROPOSED TOPO MINOR, 1' INTERVAL
EXISTING ROAD	PROPOSED FIRE HYDRANT
PRIOR SURVEY LINE	
SUBJECT PROPERTY SURVEY LINE	
POWER TRANSFORMER BOX	
TEL-COM PEDESTAL	
ELECTRIC METER	
BURIED POWER LINE	
BURIED PHONE/COMM LINE	
BURIED WATER LINE	
BURIED SEWER LINE	
FIRE HYDRANT	
MAN HOLE COVER	
"NOW OR FORMERLY OWNED BY"	
WATER COURSE	
WITNESS CORNER	

### ABBREVIATIONS

ADS	ADVANCE DRAINAGE SYSTEM	NTS	NOT TO SCALE
BOS	BOTTOM OF SWALE	PB	POND BOTTOM
BW	BOTTOM WALL	PC	POINT OF CURVATURE
CONC	CONCRETE	PT	POINT OF TANGENT
C/L	CENTERLINE	PVC	POLYVINYL CHLORIDE PIPE
EL	ELEVATION	RT	RIGHT
EOA	EDGE OF ASPHALT	ROW	RIGHT OF WAY
EOD	EDGE OF CONCRETE	SD	STORM DRAIN
EXIST	EXISTING	SF	SEPTIC FIELD
ESMT	EASEMENT	SSMH	SANITARY SEWER MANHOLE
FF	FINISH FLOOR	ST	SEPTIC TANK
FL	FLOWLINE	STCMP	STORMWATER CMP
GB	GRADE BREAK	SW	SIDEWALK
GV	GATE VALVE	TA	TOP ASPHALT
HDPE	HIGH DENSITY POLYETHYLENE	TBC	TOP BACK CURB
HP	HIGH POINT	TOC	TOP OF CONCRETE
INV	INVERT	TOP	TOP OF RAMP
LF	LINEAR FEET	TOS	TOP OF SWALE
LT	LEFT	TOP	TOP OF PIPE
ME	MATCH EXISTING	TW	TOP WALL
MIN	MINIMUM	VG	VALLEY GUTTER

### BENCHMARK

HORIZONTAL AND VERTICAL CONTROL IS BASED ON NAD 83 CENTRAL ZONE. SEE SHEET C-103 FOR LOCATION OF CONTROL POINT.



### CONTROL

THE CONTRACTOR SHALL ESTABLISH AND PRESERVE SECONDARY HORIZONTAL AND VERTICAL CONTROL.

### INCIDENTAL NOTES

- MEETINGS TO COORDINATE WITH UTILITY COMPANIES.

### SPECIFICATIONS

- 

### ENGINEER

RAYMOND J. SMITH P.E.  
SOUDEr, MILLER & ASSOCIATES  
5454 Venice Ave. NE, SUITE D  
ALBUQUERQUE, NEW MEXICO 87113  
(505) 299-0942

### OWNER

### FACILITY

### EMERGENCY CONTACT NUMBERS

FIRE/POLICE/AMBULANCE 911

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JMC	RJS	RJS

Date: **October 2019**  
Scale: Horiz: \_\_\_\_\_  
       Vert: \_\_\_\_\_  
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Sheet: \_\_\_\_\_





GUNSITE FLUME COORDINATES  
 LAT: N036.581025  
 LONG: W105.436456

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**C-1**

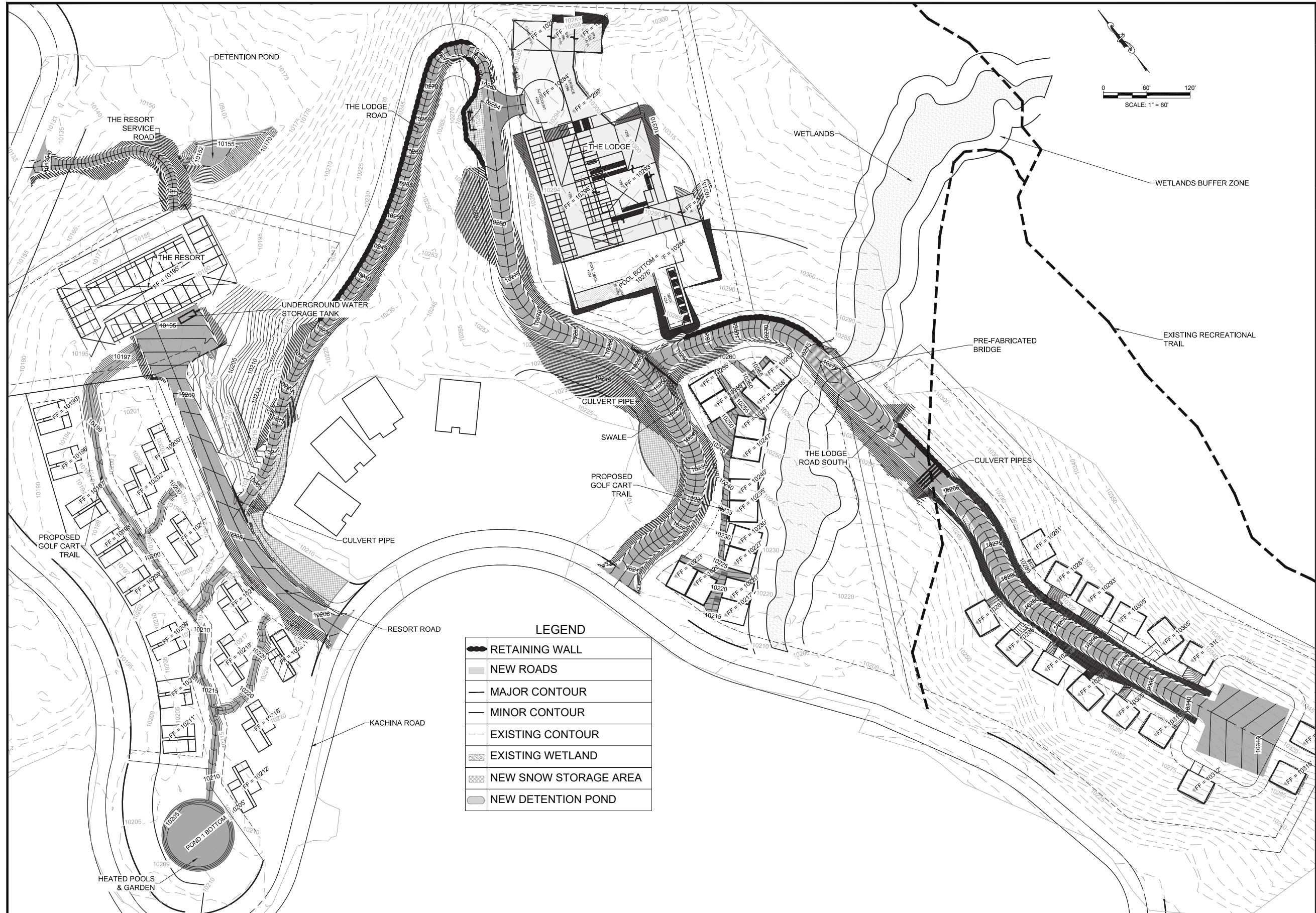
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	NEW ROADS
	MAJOR CONTOUR
	MINOR CONTOUR
	EXISTING CONTOUR
	EXISTING WETLAND
	NEW SNOW STORAGE AREA
	NEW DETENTION POND
	NORTH GUNSITE B/C
	NORTH GUNSITE SPRING
	GUNSITE FLUME

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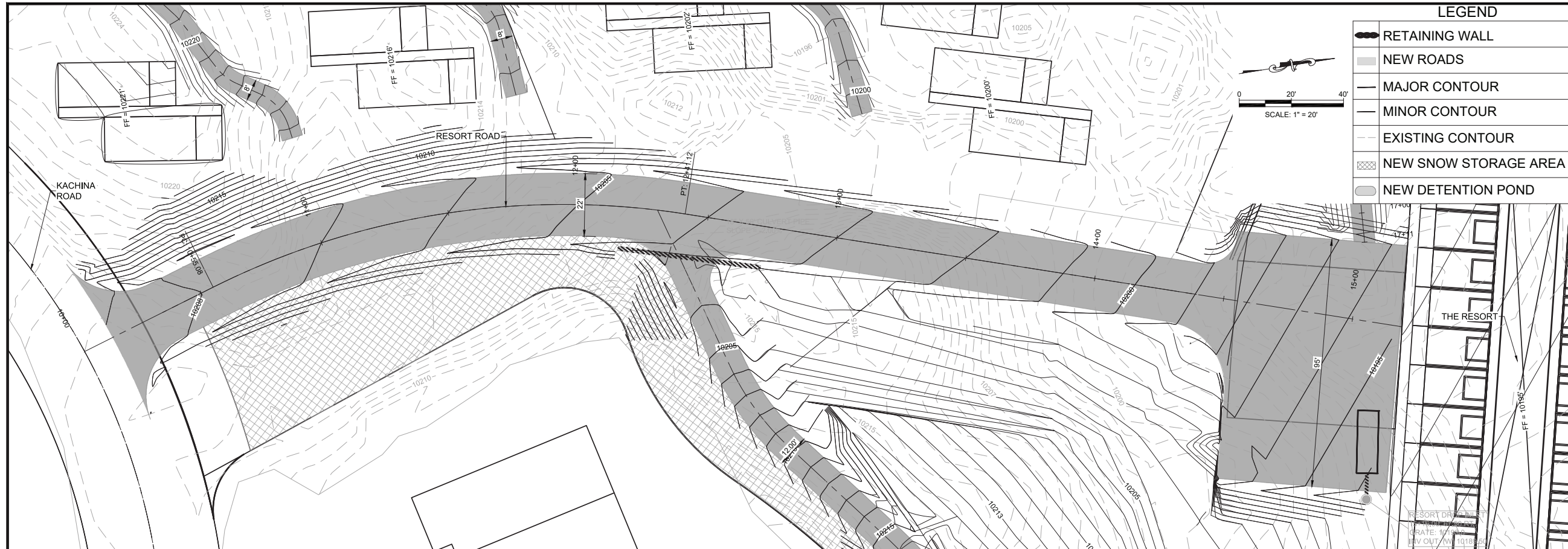


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<p>SHOPOFF TAOS SKI VALLEY          TAOS, NEW MEXICO          GRADING AND DRAINAGE PLAN</p>		
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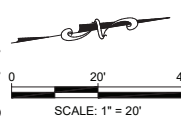
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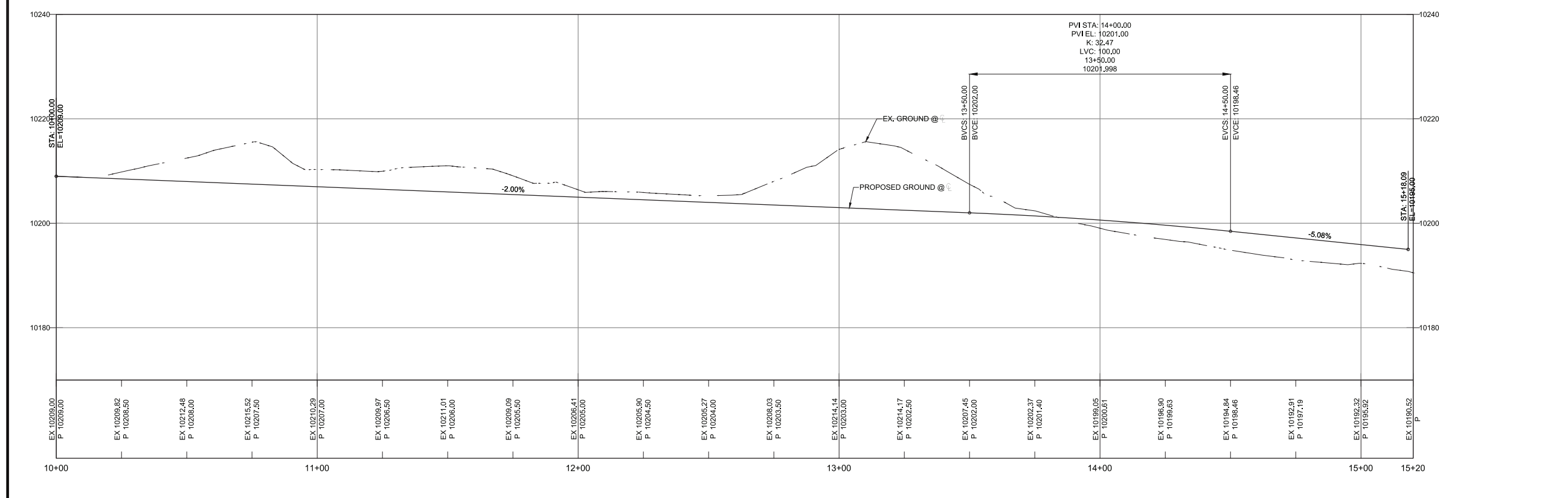
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	MAJOR CONTOUR
	MINOR CONTOUR
	EXISTING CONTOUR
	NEW SNOW STORAGE AREA
	NEW DETENTION POND



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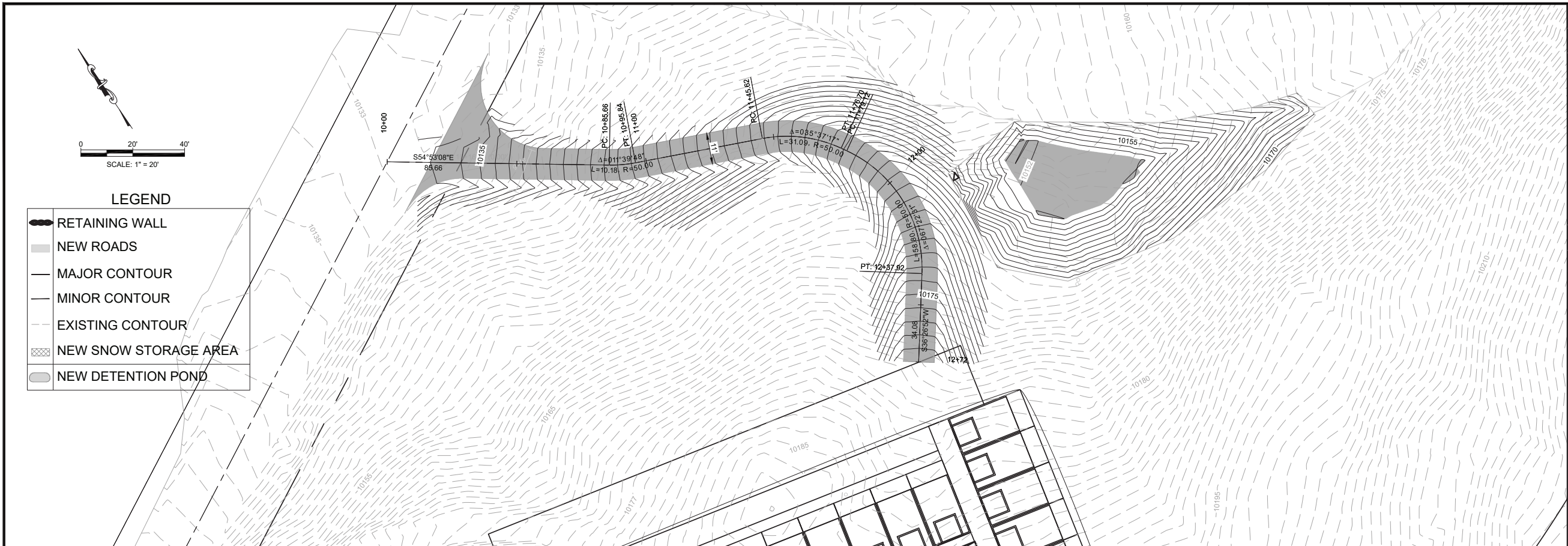
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THE RESORT ROAD PROFILE



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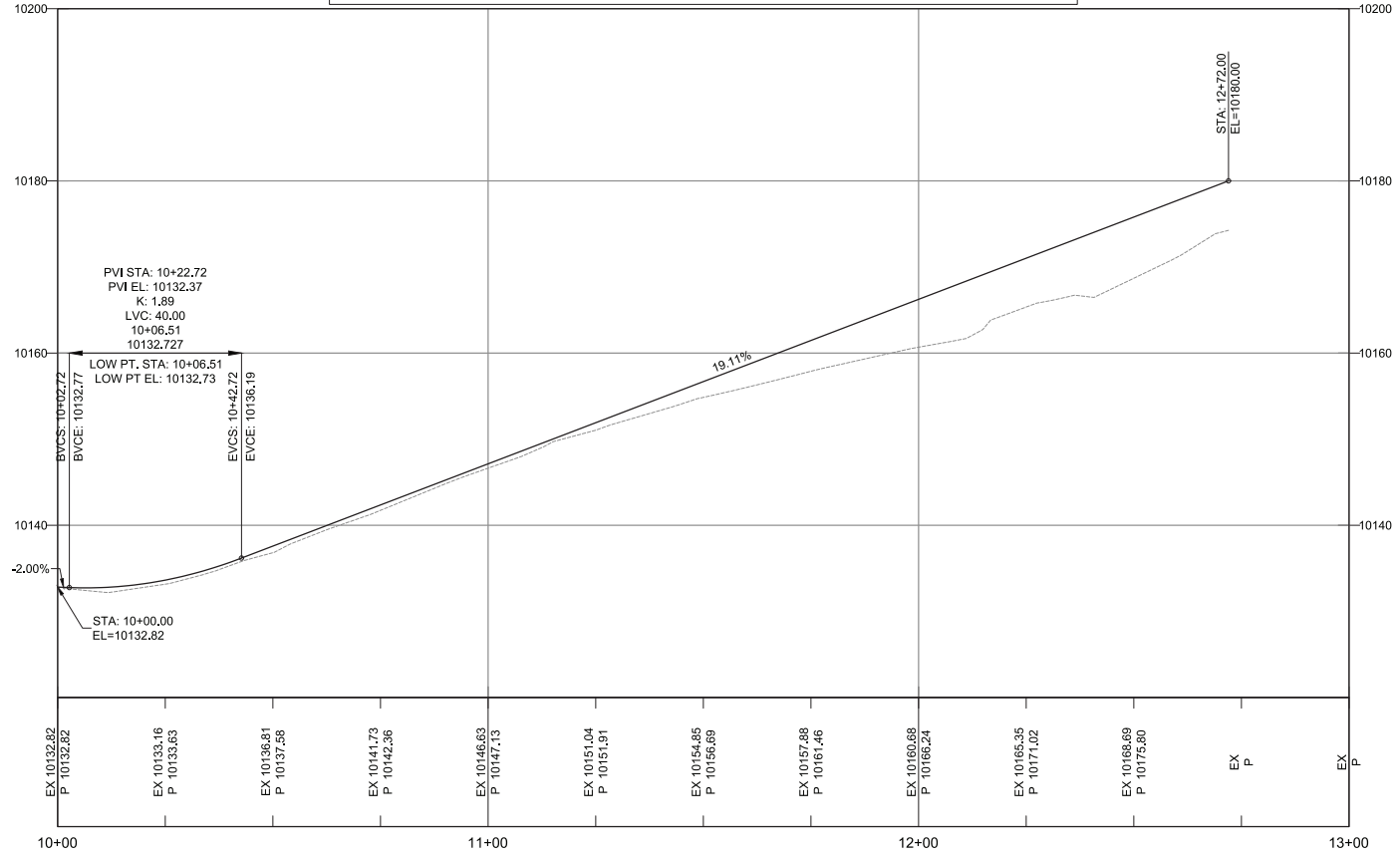




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**SERVICE ROAD TO THE RESORT HOTEL PROFILE**



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 THE RESORT SERVICE ROAD PLAN &  
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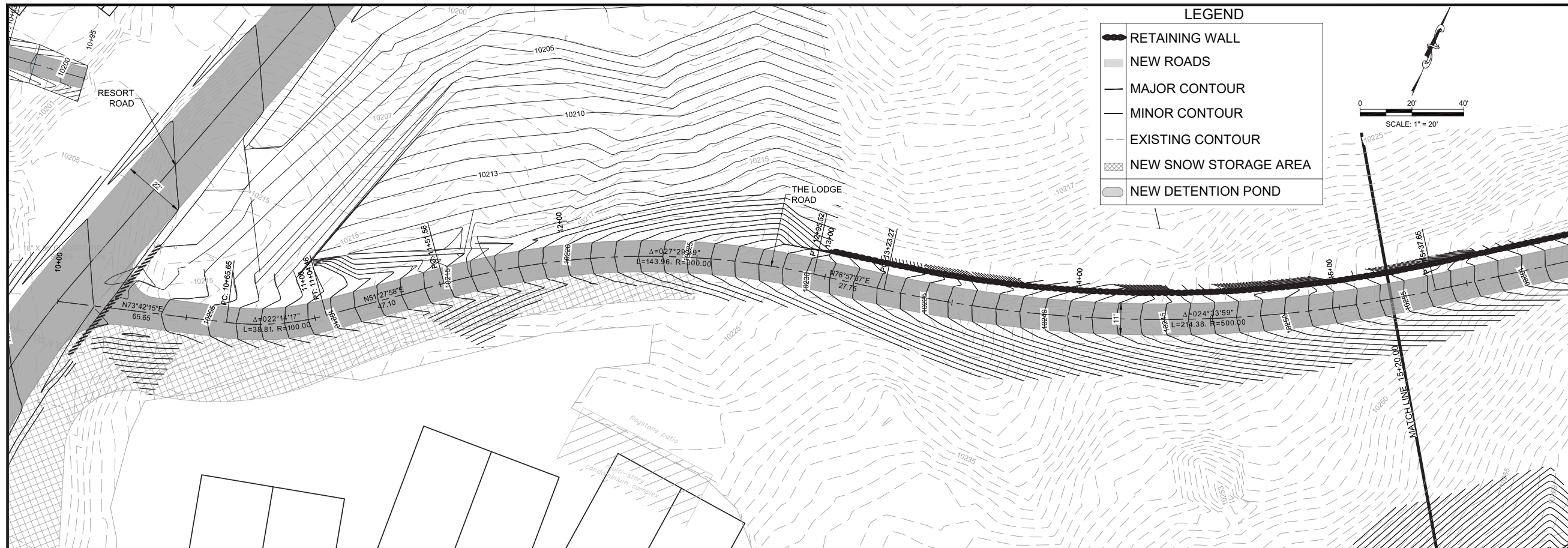
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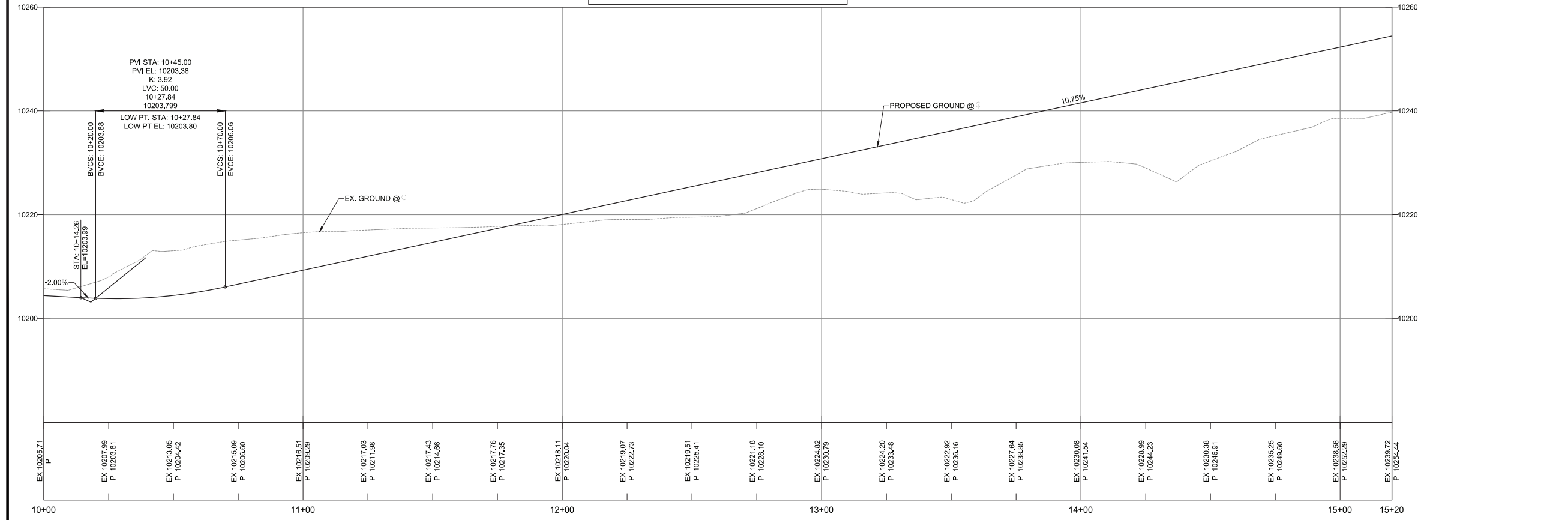
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- RETAINING WALL
- NEW ROADS
- MAJOR CONTOUR
- MINOR CONTOUR
- EXISTING CONTOUR
- NEW SNOW STORAGE AREA
- NEW DETENTION POND

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**THE LODGE ROAD PROFILE**



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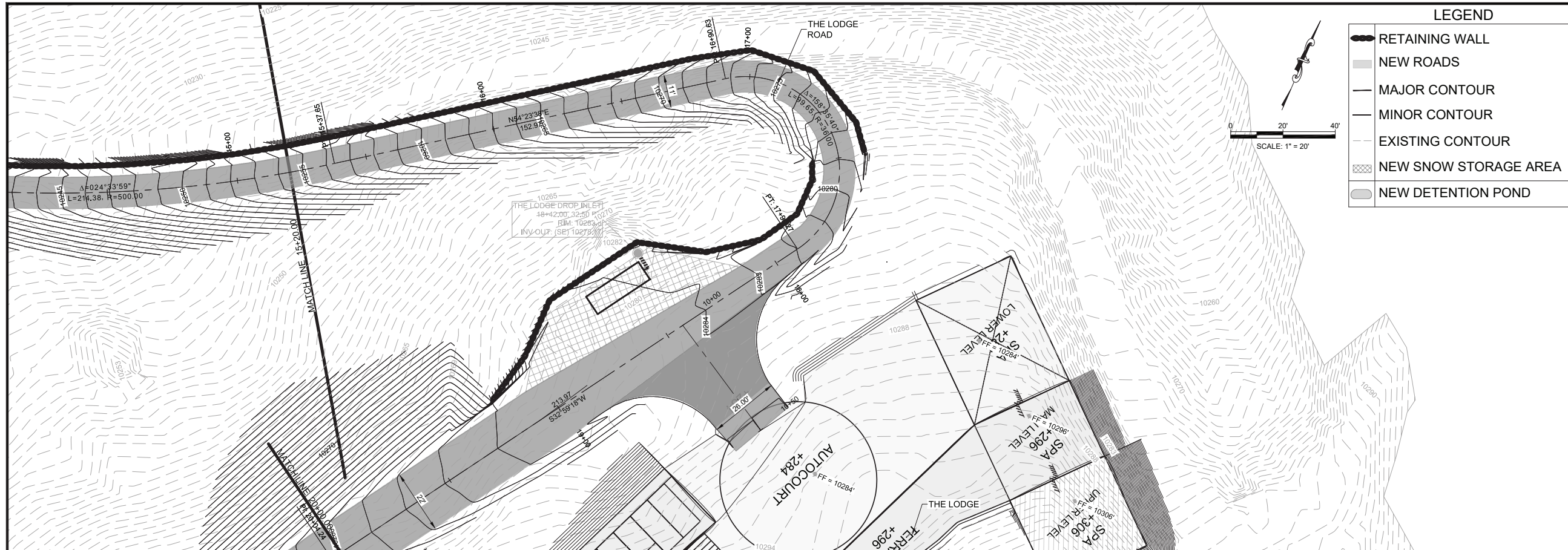
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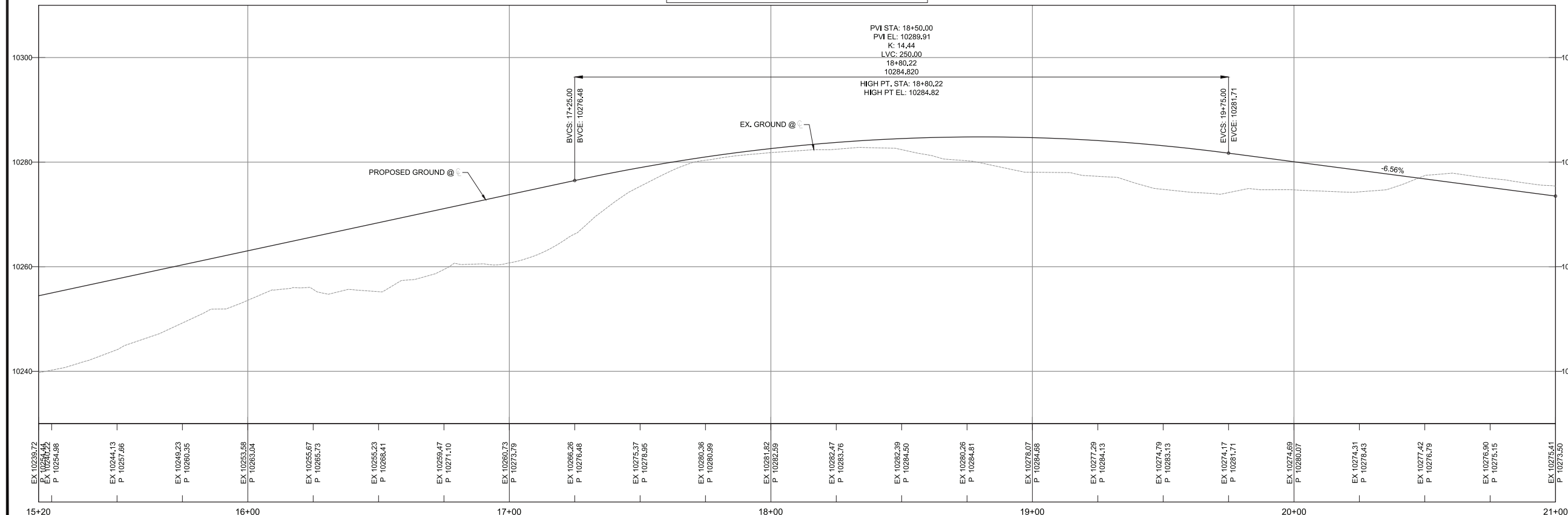
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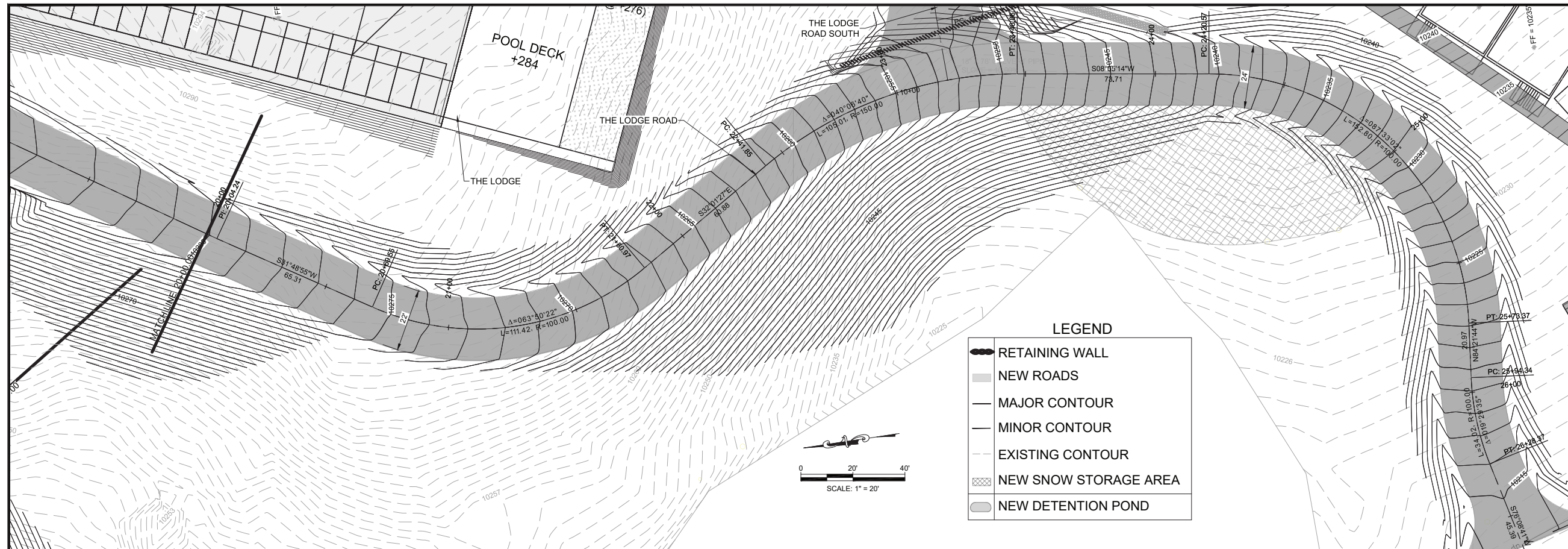
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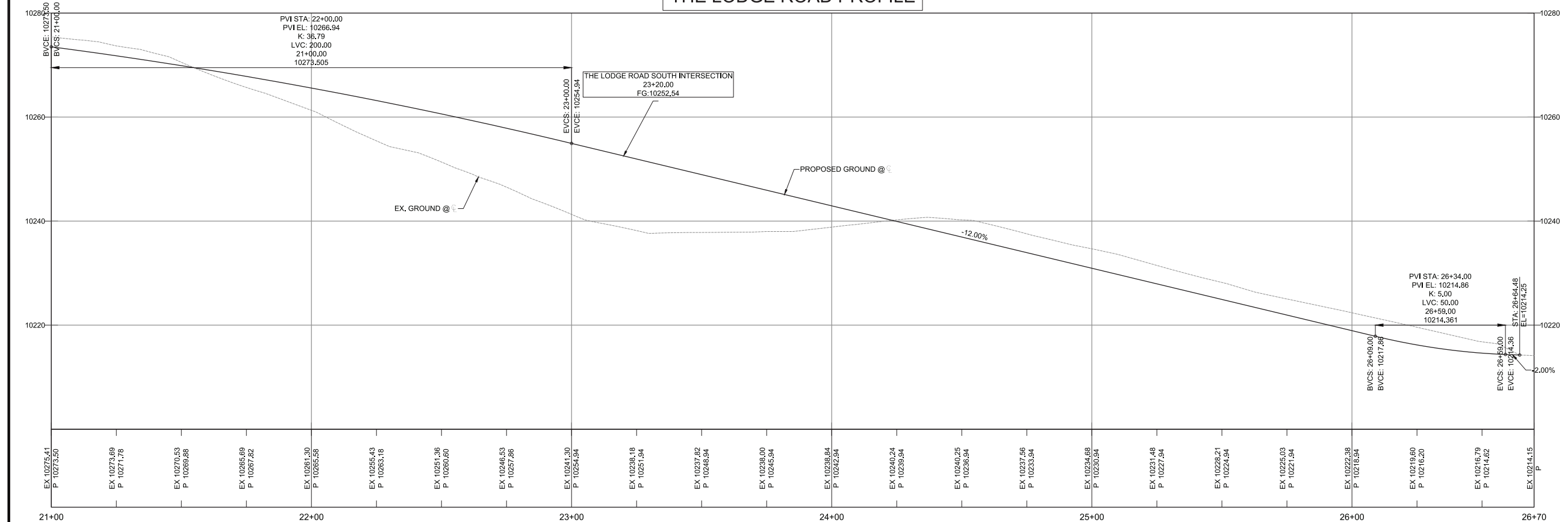
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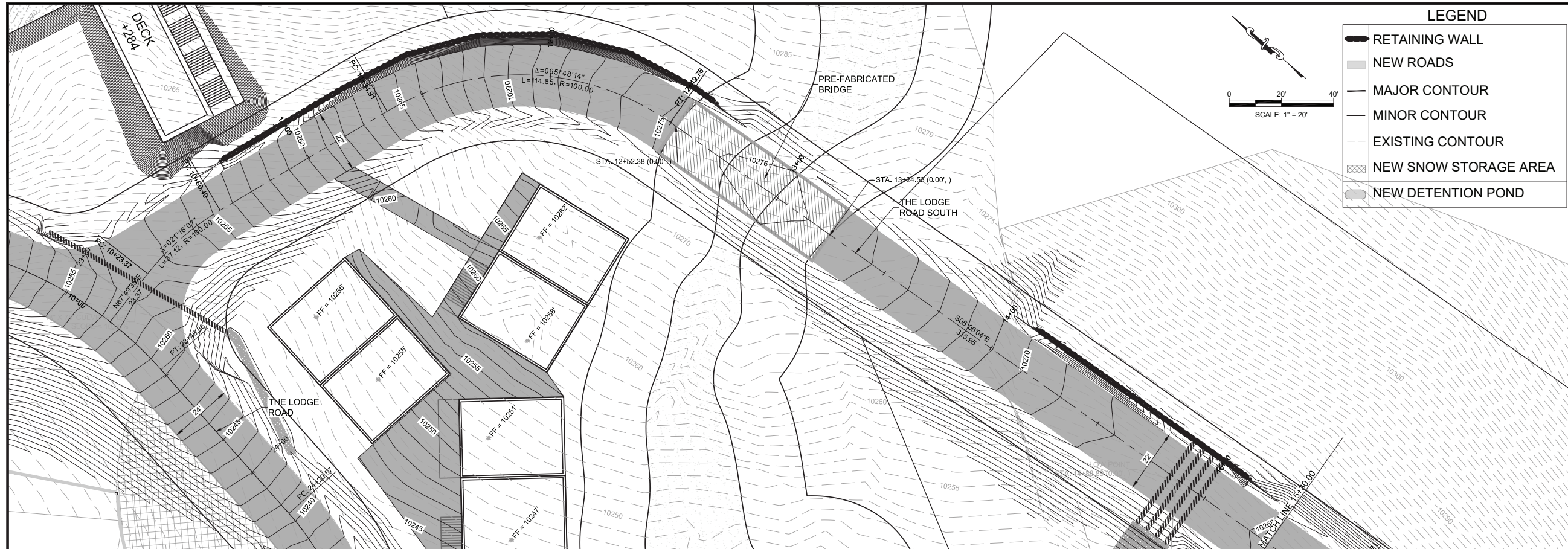
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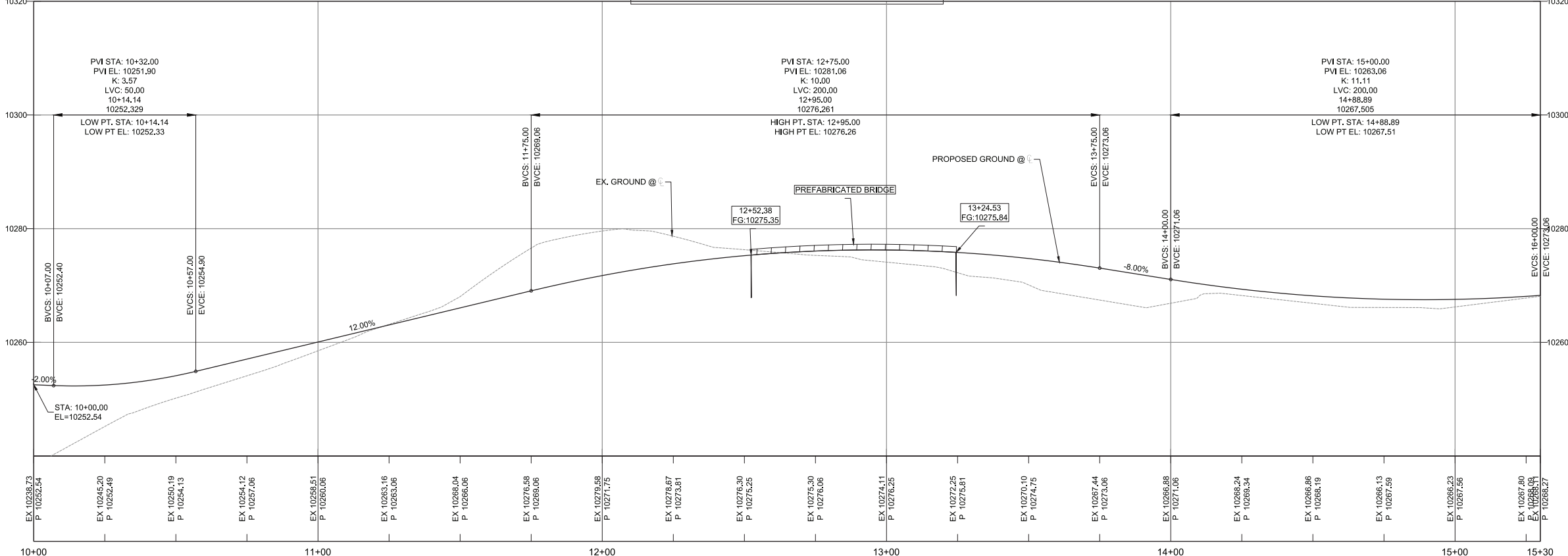
- RETAINING WALL
- NEW ROADS
- MAJOR CONTOUR
- MINOR CONTOUR
- EXISTING CONTOUR
- NEW SNOW STORAGE AREA
- NEW DETENTION POND

Scale: 1" = 20'

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**LODGE ROAD SOUTH PROFILE**



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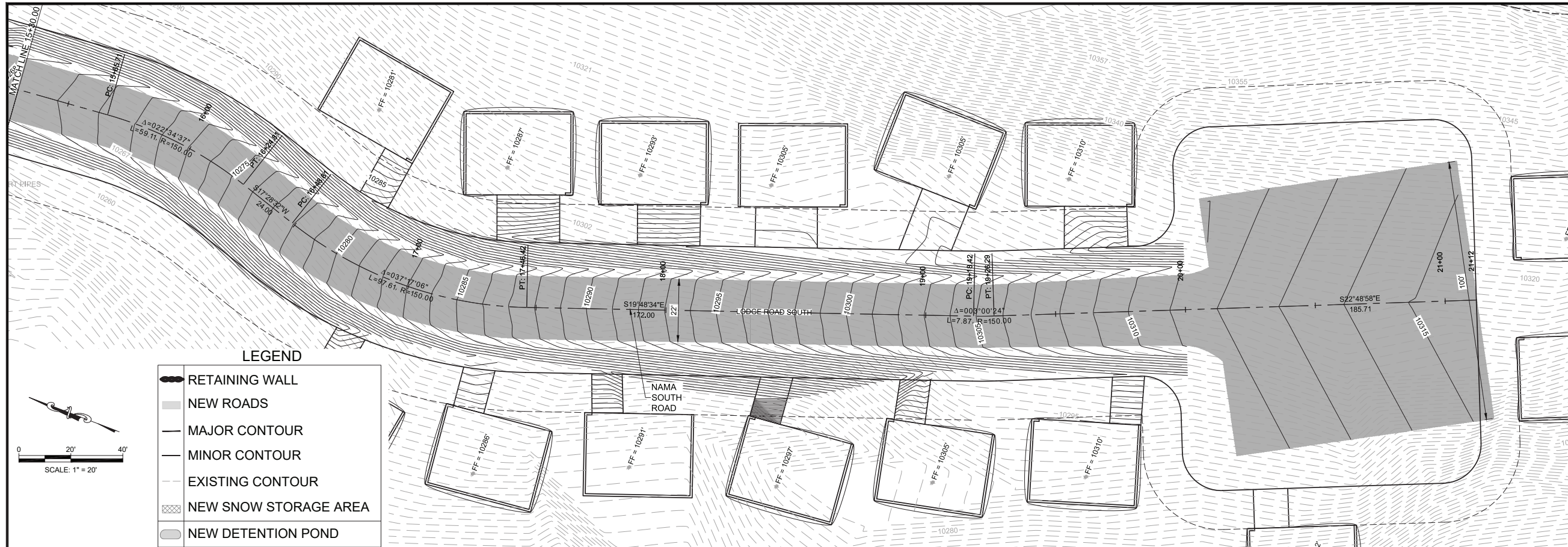
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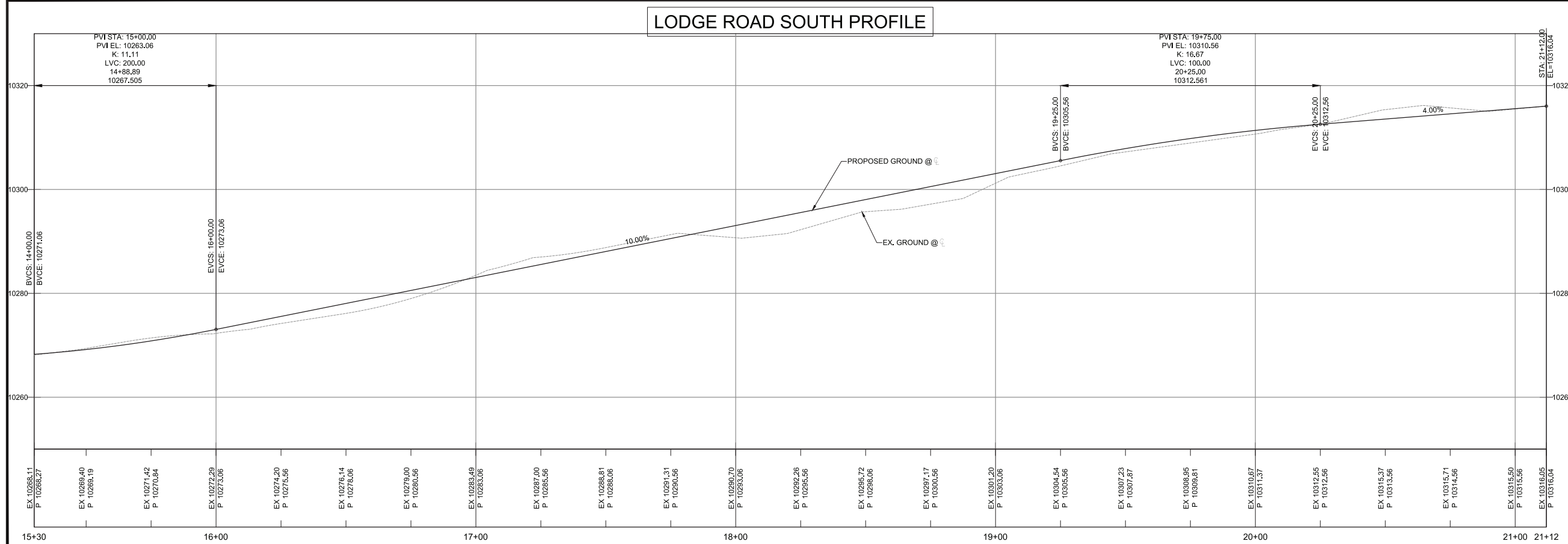
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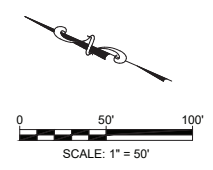
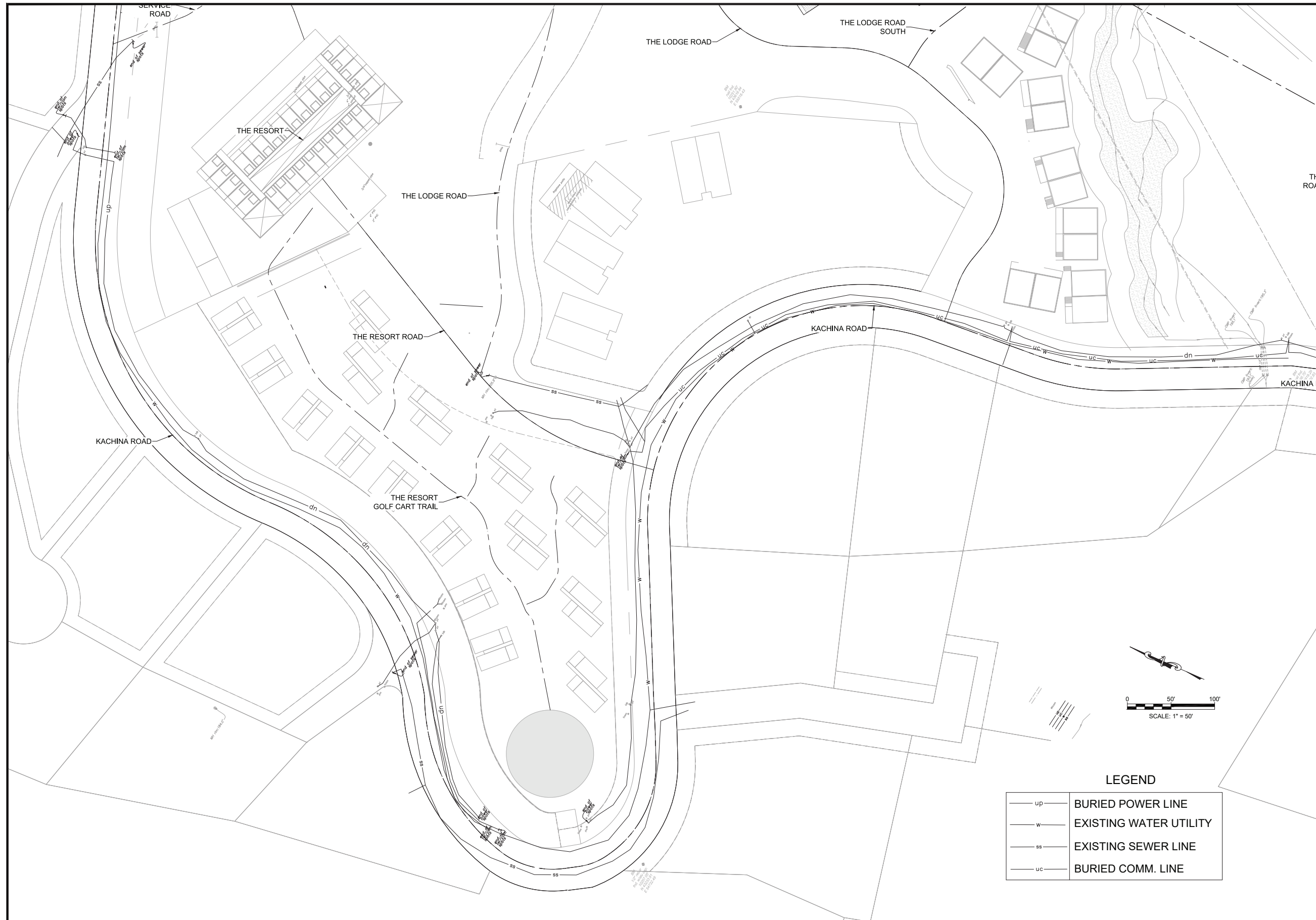
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 Project No:   
 Sheet: C-9





**LEGEND**

— up —	BURIED POWER LINE
— w —	EXISTING WATER UTILITY
— ss —	EXISTING SEWER LINE
— uc —	BURIED COMM. LINE

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**EXISTING UTILITIES PLAN**

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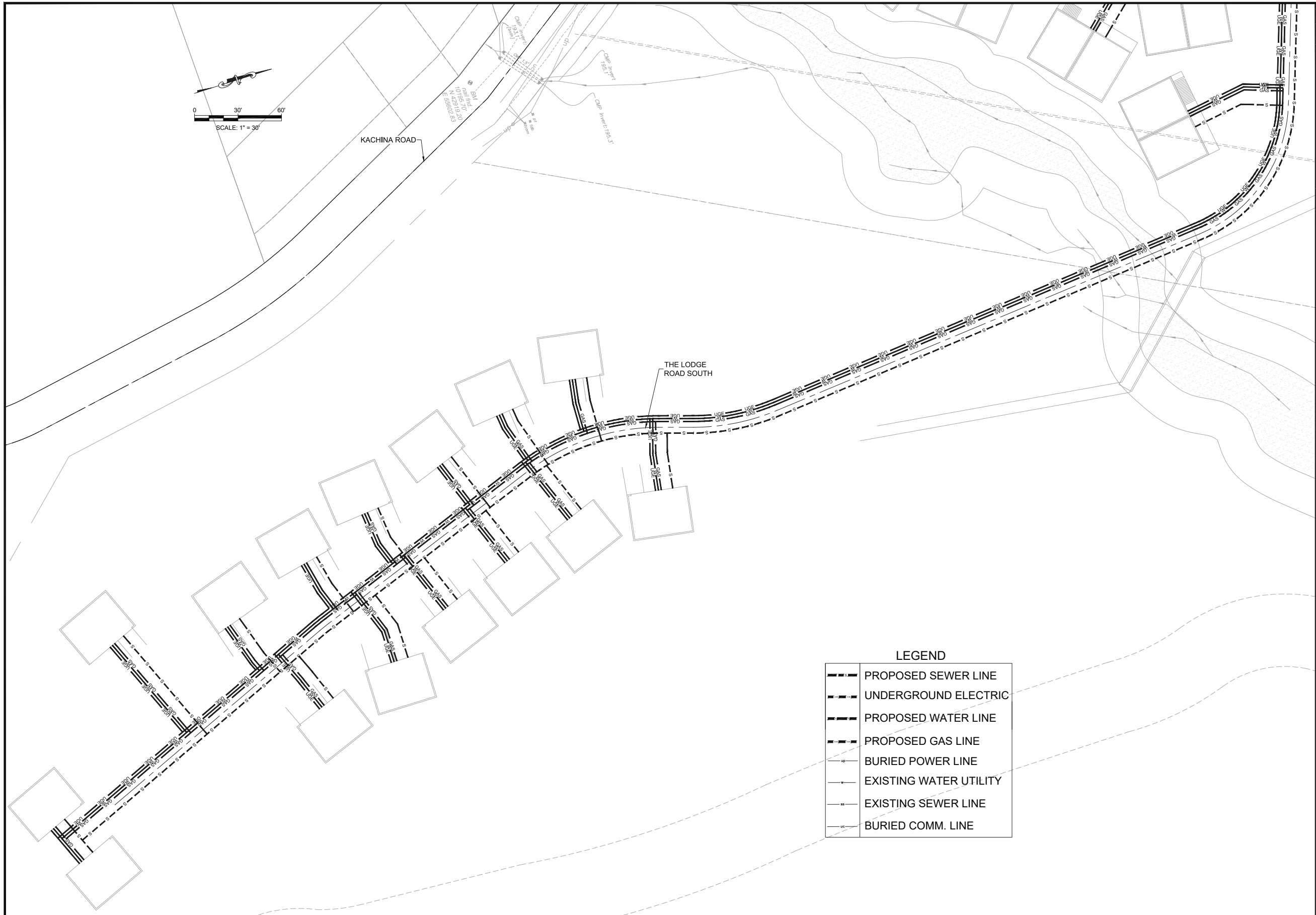


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<p>TAOS</p>	<p>SHOPOFF</p>
<p><b>SHOPOFF TAOS SKI VALLEY          TAOS, NEW MEXICO          THE RESORT UTILITIES PLAN</b></p>	
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<p>Designed JMC</p>	<p>Drawn SAT</p>
<p>Checked RJS</p>	<p>Checked RJS</p>
<p>Date: <b>October 2019</b></p>	
<p>Scale: Horiz: _____          Vert: _____</p>	
<p>Project No: _____</p>	
<p>Sheet: <b>C-11</b></p>	





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TAOS  
 SHOPOFF TAOS SKI VALLEY  
 TAOS, NEW MEXICO  
 THE LODGE ROAD SOUTH UTILITIES PLAN

**LEGEND**

	PROPOSED SEWER LINE
	UNDERGROUND ELECTRIC
	PROPOSED WATER LINE
	PROPOSED GAS LINE
	BURIED POWER LINE
	EXISTING WATER UTILITY
	EXISTING SEWER LINE
	BURIED COMM. LINE

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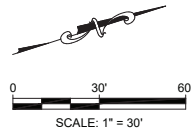
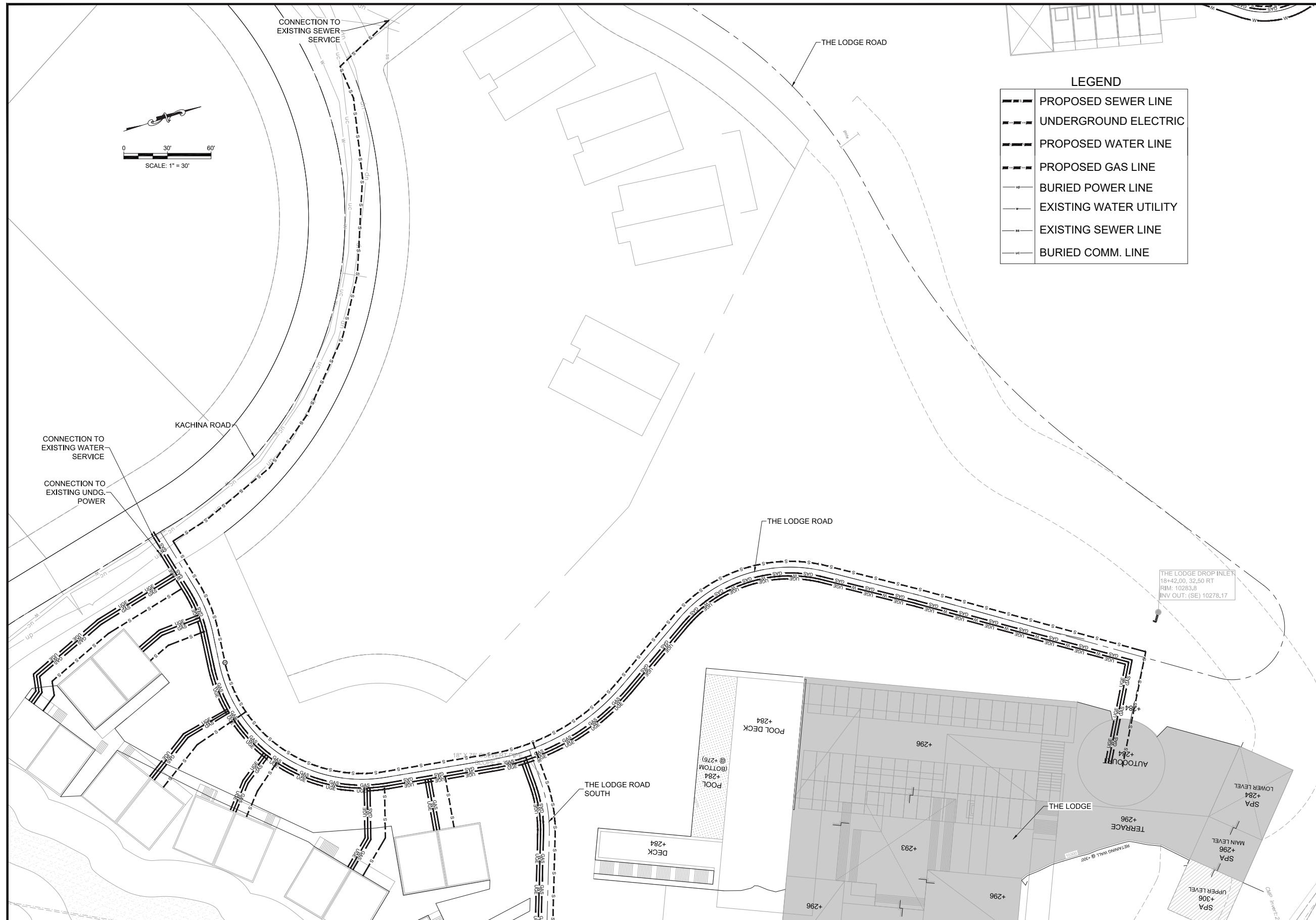
Designed JMC	Drawn SAT	Checked RJS
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Date: **October 2019**  
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 Vert:  
 Project No:  
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**C-12**

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P:19-Shopoff Taos Ski Valley (9427120)/CAD/Civil/9427120 Proposed Utilities 6-18-2019.dwg, 10/2/2019 3:37:00 PM SAT





**LEGEND**

	PROPOSED SEWER LINE
	UNDERGROUND ELECTRIC
	PROPOSED WATER LINE
	PROPOSED GAS LINE
	BURIED POWER LINE
	EXISTING WATER UTILITY
	EXISTING SEWER LINE
	BURIED COMM. LINE

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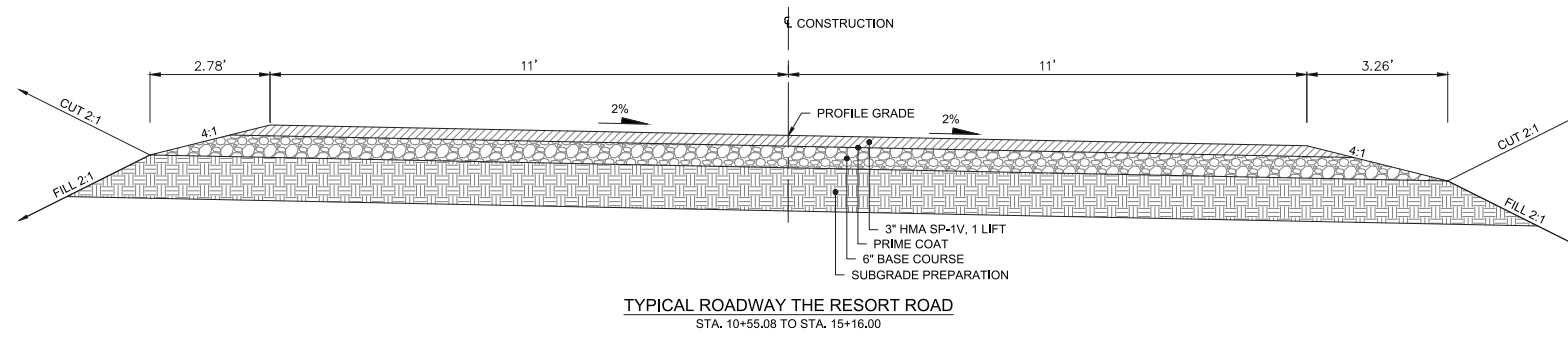
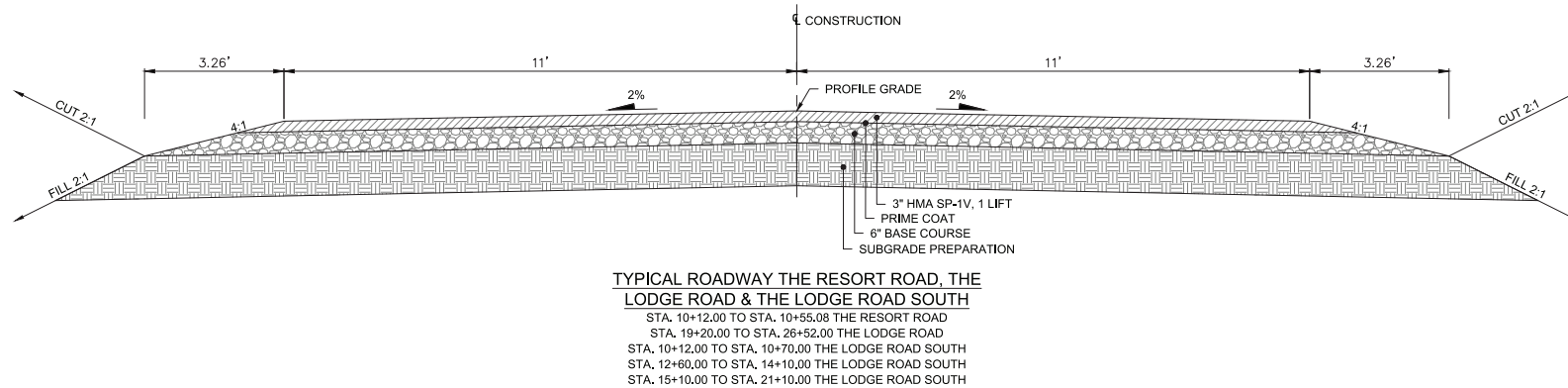
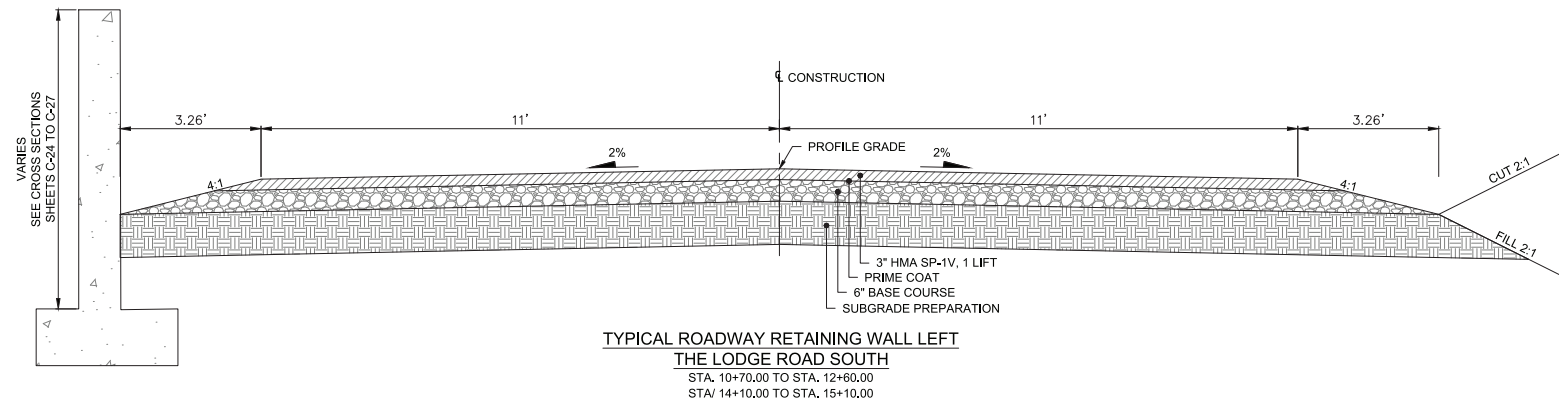
TAOS  
**SHOPOFF TAOS SKI VALLEY**  
**TAOS, NEW MEXICO**  
**THE LODGE ROAD UTILITIES PLAN**

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 Design: JMC Draw: SAT Checked: RJS  
 Date: **October 2019**  
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 Project No:  
 Sheet: **C-13**

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TAOS  
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TAOS, NEW MEXICO  
TYPICAL SECTIONS

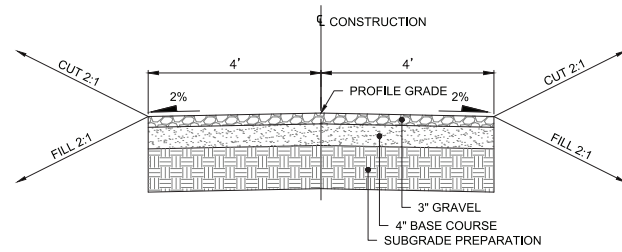
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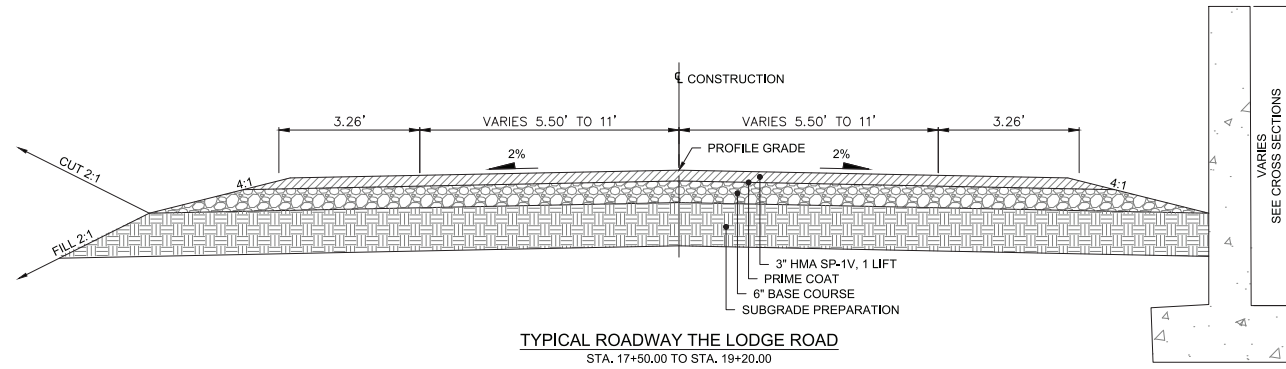
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Vert:  
Project No:  
Sheet:  
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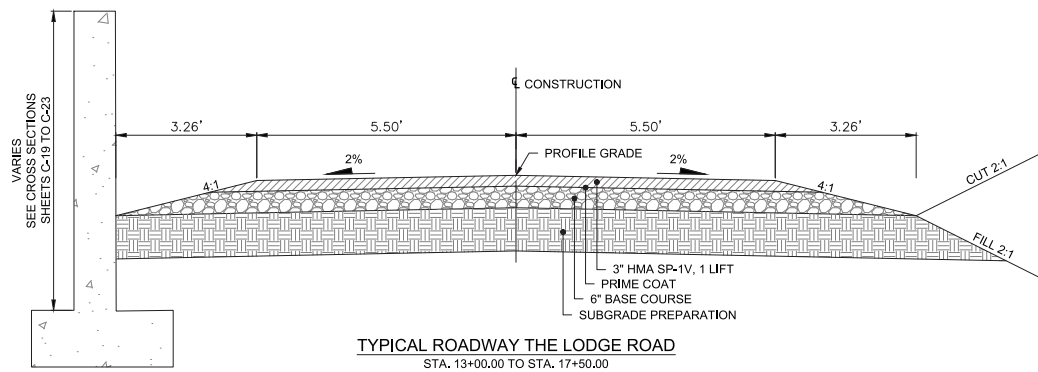




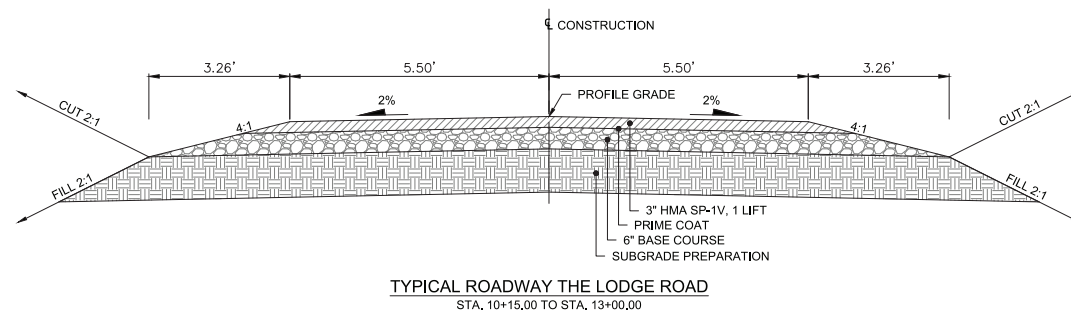
TYPICAL GOLF CART TRAIL



TYPICAL ROADWAY THE LODGE ROAD  
STA. 17+50.00 TO STA. 19+20.00



TYPICAL ROADWAY THE LODGE ROAD  
STA. 13+00.00 TO STA. 17+50.00



TYPICAL ROADWAY THE LODGE ROAD  
STA. 10+15.00 TO STA. 13+00.00

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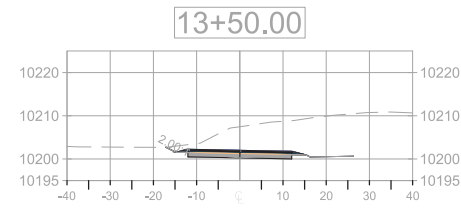
TAOS  
 SHOPOFF  
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 TAOS, NEW MEXICO  
 TYPICAL SECTIONS 2

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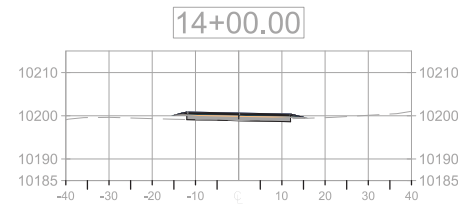
Designed JMC	Drawn SAT	Checked RJS
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 Project No:  
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**C-15**

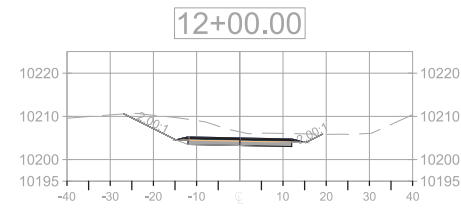




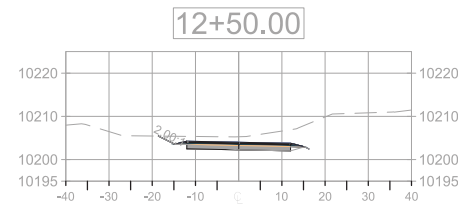
Material(s) at Station 13+50.00			
Material Name	Area	Volume	Cumulative Volume
Ground Fill	0.00	0.00	0.00
Ground Removed	281.09	673.53	2657.42



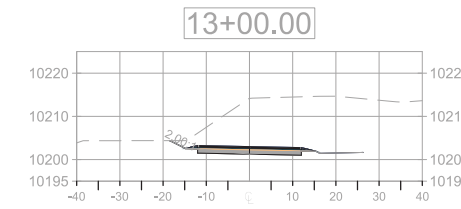
Material(s) at Station 14+00.00			
Material Name	Area	Volume	Cumulative Volume
Ground Fill	10.52	9.74	9.74
Ground Removed	0.44	260.68	2918.10



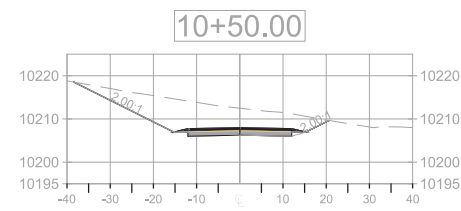
Material(s) at Station 12+00.00			
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Ground Fill	0.00	0.00	0.00
Ground Removed	143.48	393.92	1241.06



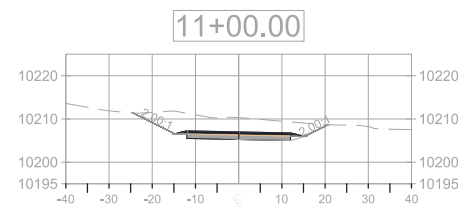
Material(s) at Station 12+50.00			
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Ground Fill	0.00	0.00	0.00
Ground Removed	105.46	231.93	1472.99



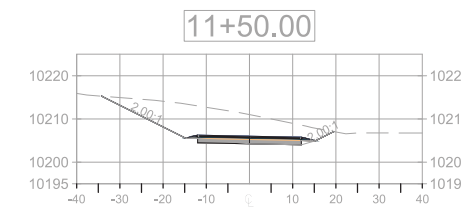
Material(s) at Station 13+00.00			
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Ground Fill	0.00	0.00	0.00
Ground Removed	446.32	510.90	1983.89



Material(s) at Station 10+50.00			
Material Name	Area	Volume	Cumulative Volume
Ground Fill	0.00	0.00	0.00
Ground Removed	284.27	0.00	0.00



Material(s) at Station 11+00.00			
Material Name	Area	Volume	Cumulative Volume
Ground Fill	0.00	0.00	0.00
Ground Removed	171.65	428.81	428.81



Material(s) at Station 11+50.00			
Material Name	Area	Volume	Cumulative Volume
Ground Fill	0.00	0.00	0.00
Ground Removed	272.86	418.33	847.14

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TAOS  
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**TAOS, NEW MEXICO**  
 THE RESORT ROAD CROSS SECTIONS 1

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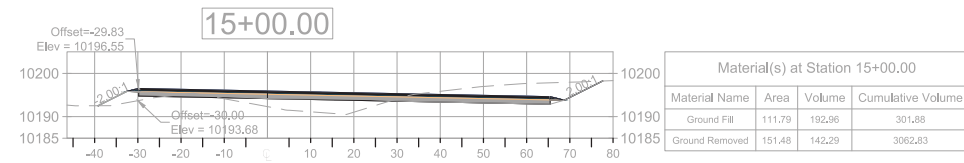
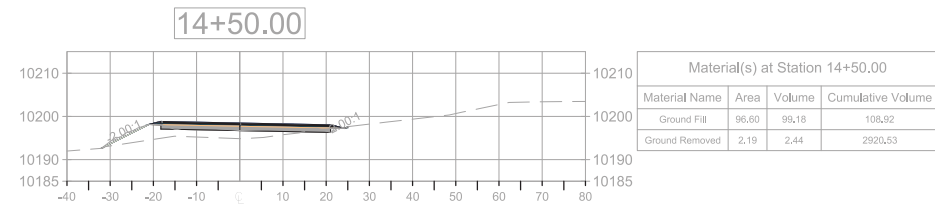
Date: **October 2019**

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Sheet:  
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 THE RESORT ROAD CROSS SECTIONS2

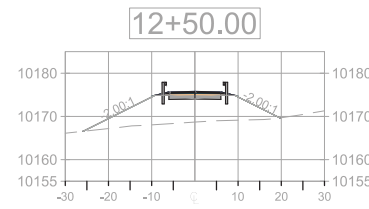
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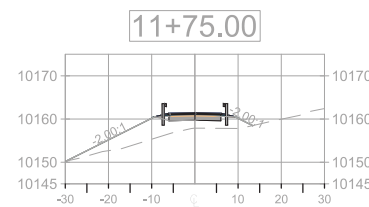
Designed JMC	Drawn SAT	Checked RJS
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Date: **October 2019**  
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 Vert:  
 Project No:  
 Sheet:  
**C-17**

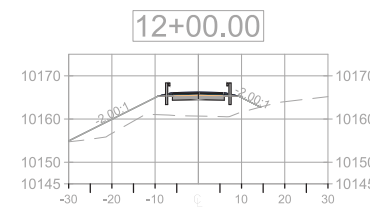




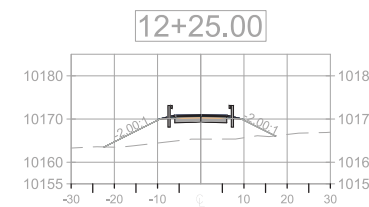
Material(s) at Station 12+50.00			
Material Name	Area	Volume	Cumulative Volume
Ground Fill	196.17	160.35	516.33
Ground Removed	0.00	0.00	149.55



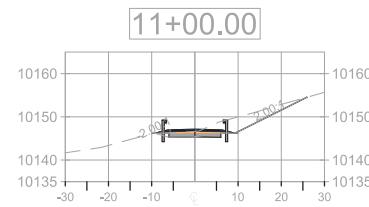
Material(s) at Station 11+75.00			
Material Name	Area	Volume	Cumulative Volume
Ground Fill	109.77	68.03	80.49
Ground Removed	0.00	0.20	149.55



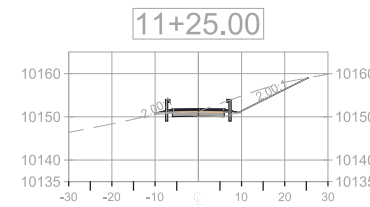
Material(s) at Station 12+00.00			
Material Name	Area	Volume	Cumulative Volume
Ground Fill	144.24	131.81	212.29
Ground Removed	0.00	0.00	149.55



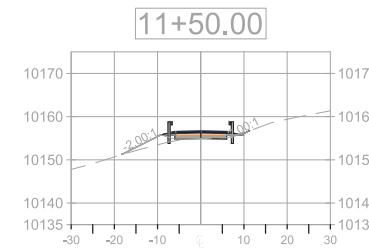
Material(s) at Station 12+25.00			
Material Name	Area	Volume	Cumulative Volume
Ground Fill	141.99	143.69	355.98
Ground Removed	0.00	0.00	149.55



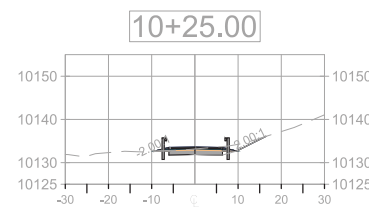
Material(s) at Station 11+00.00			
Material Name	Area	Volume	Cumulative Volume
Ground Fill	0.00	0.00	2.84
Ground Removed	59.13	34.59	66.90



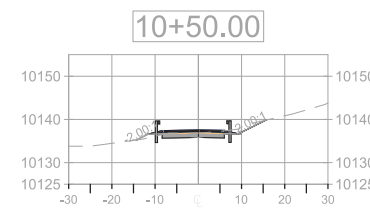
Material(s) at Station 11+25.00			
Material Name	Area	Volume	Cumulative Volume
Ground Fill	1.34	0.62	3.46
Ground Removed	60.33	55.30	122.21



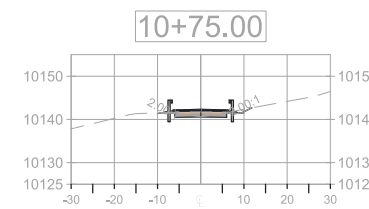
Material(s) at Station 11+50.00			
Material Name	Area	Volume	Cumulative Volume
Ground Fill	17.56	6.99	12.45
Ground Removed	0.54	27.14	149.35



Material(s) at Station 10+25.00			
Material Name	Area	Volume	Cumulative Volume
Ground Fill	0.18	0.00	0.00
Ground Removed	24.05	0.00	0.00



Material(s) at Station 10+50.00			
Material Name	Area	Volume	Cumulative Volume
Ground Fill	2.99	1.46	1.46
Ground Removed	17.30	19.14	19.14



Material(s) at Station 10+75.00			
Material Name	Area	Volume	Cumulative Volume
Ground Fill	0.00	1.38	2.84
Ground Removed	11.15	13.17	32.31

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**TAOS, NEW MEXICO**  
 THE RESORT SERVICE ROAD CROSS SECTIONS

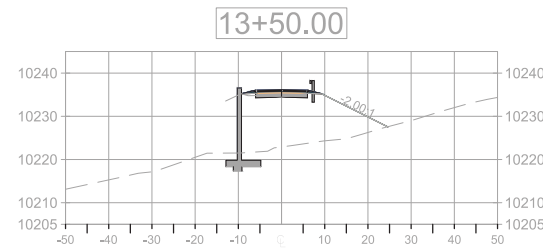
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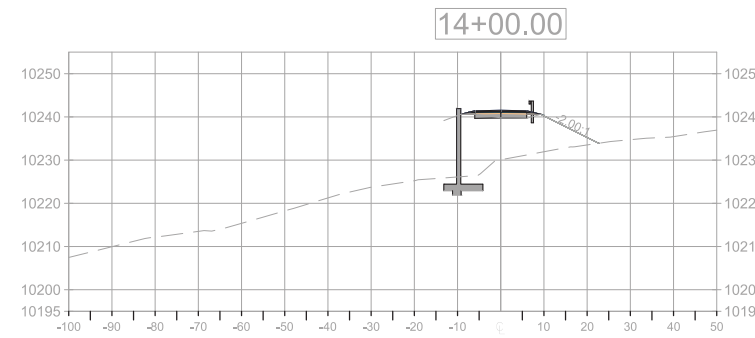
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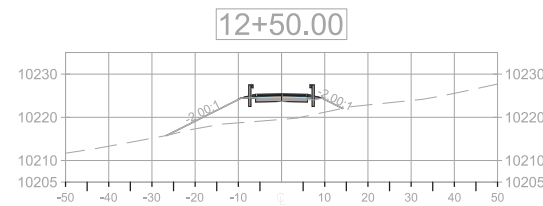




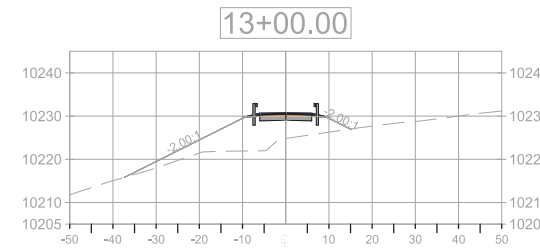
Material(s) at Station 13+50.00			
Material Name	Area	Volume	Cumulative Volume
Ground Fill	380.25	514.85	976.09
Ground Removed	0.00	0.00	1255.23



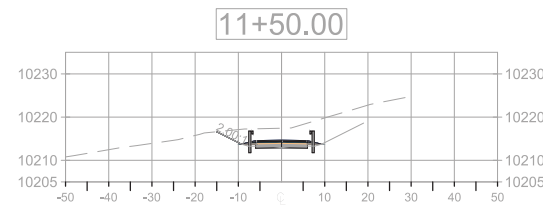
Material(s) at Station 14+00.00			
Material Name	Area	Volume	Cumulative Volume
Ground Fill	313.53	625.09	1601.18
Ground Removed	0.00	0.00	1255.23



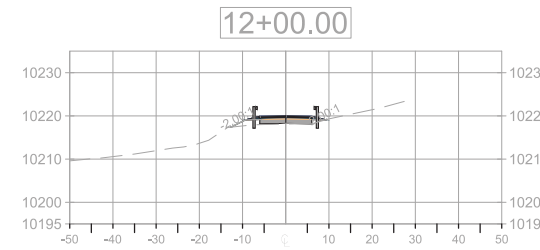
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Material Name	Area	Volume	Cumulative Volume
Ground Fill	135.35	137.46	147.72
Ground Removed	0.00	0.54	1255.23



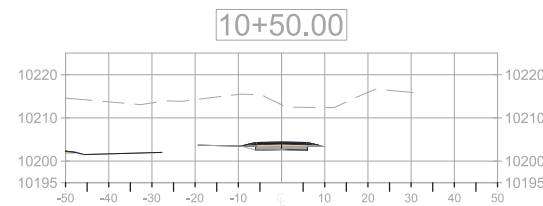
Material(s) at Station 13+00.00			
Material Name	Area	Volume	Cumulative Volume
Ground Fill	196.71	313.52	461.24
Ground Removed	0.00	0.00	1255.23



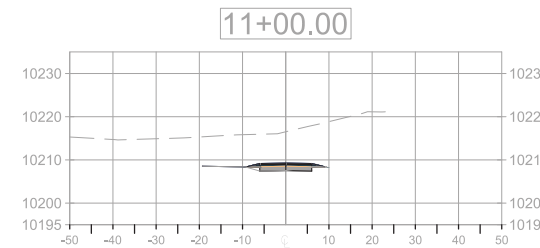
Material(s) at Station 11+50.00			
Material Name	Area	Volume	Cumulative Volume
Ground Fill	0.00	0.00	0.00
Ground Removed	140.75	349.84	1125.62



Material(s) at Station 12+00.00			
Material Name	Area	Volume	Cumulative Volume
Ground Fill	10.85	10.25	10.26
Ground Removed	0.60	129.07	1254.69



Material(s) at Station 10+50.00			
Material Name	Area	Volume	Cumulative Volume
Ground Fill	0.00	0.00	0.00
Ground Removed	310.09	286.03	286.03



Material(s) at Station 11+00.00			
Material Name	Area	Volume	Cumulative Volume
Ground Fill	0.00	0.00	0.00
Ground Removed	237.39	489.74	775.77

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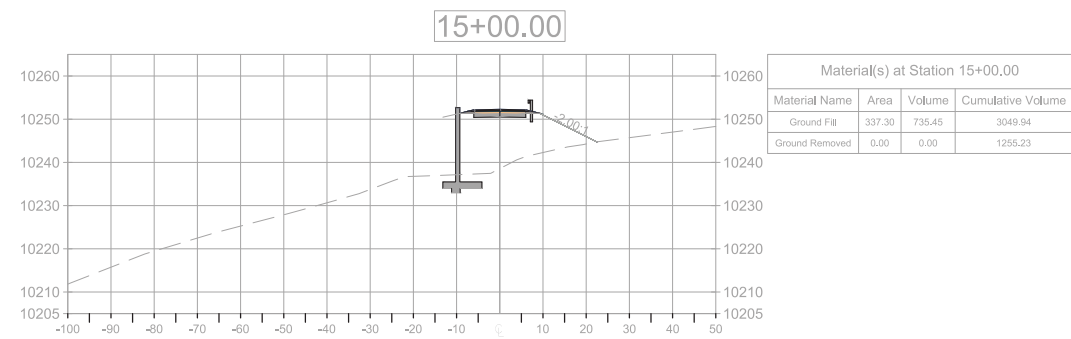
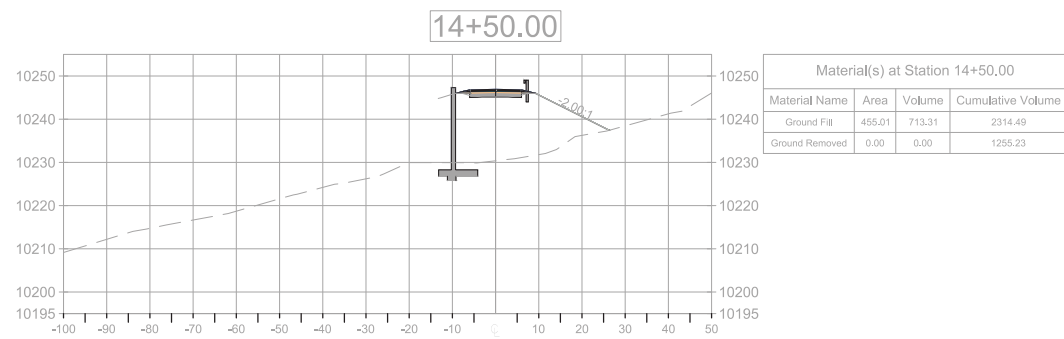
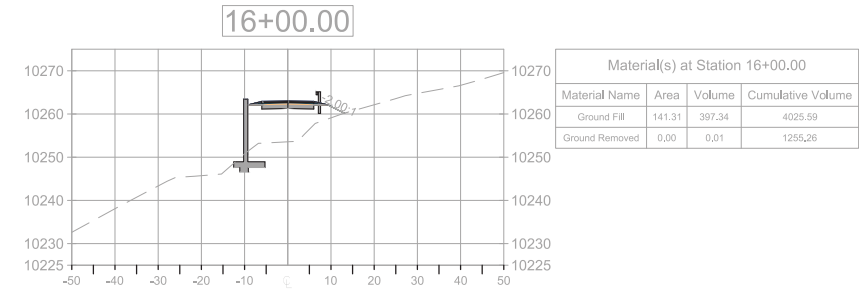
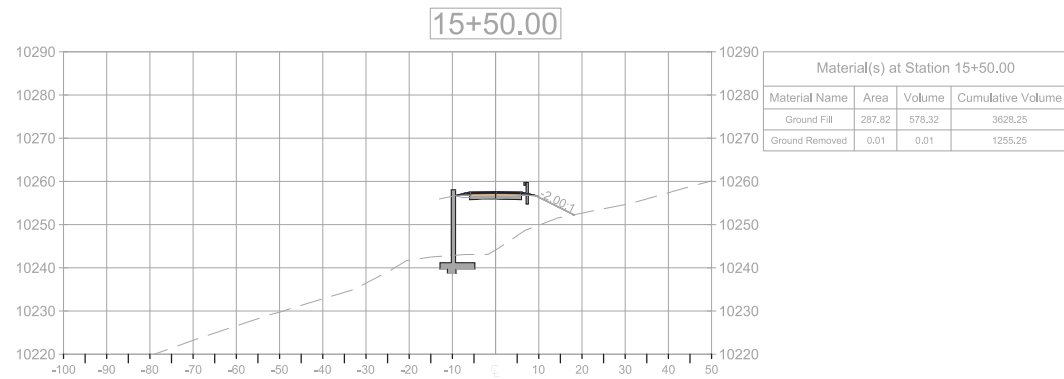
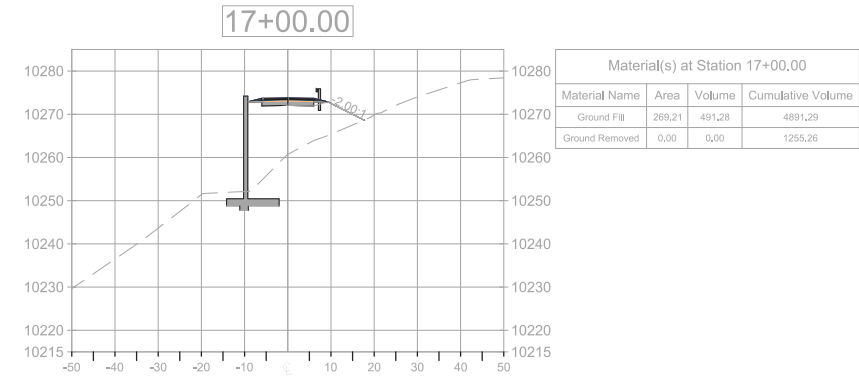
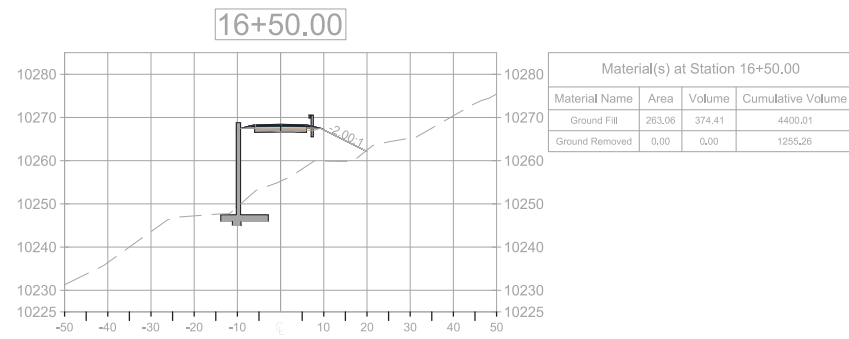
TAOS  
SHOPOFF  
SHOPOFF TAOS SKI VALLEY  
TAOS, NEW MEXICO  
THE LODGE ROAD CROSS SECTIONS1

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**C-19**





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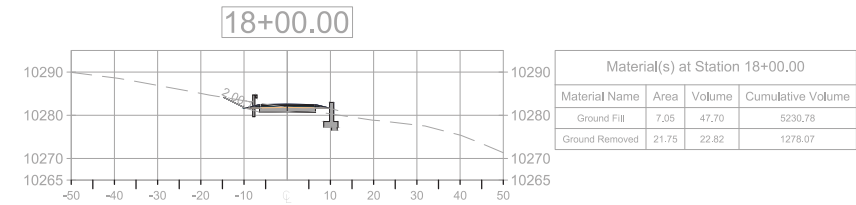
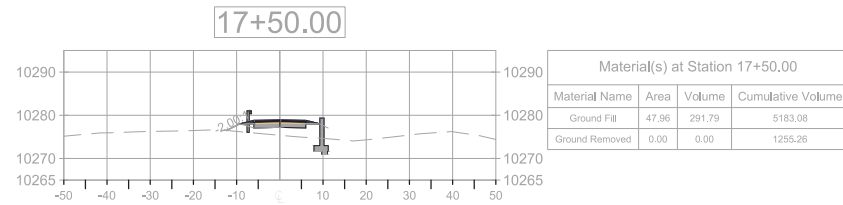
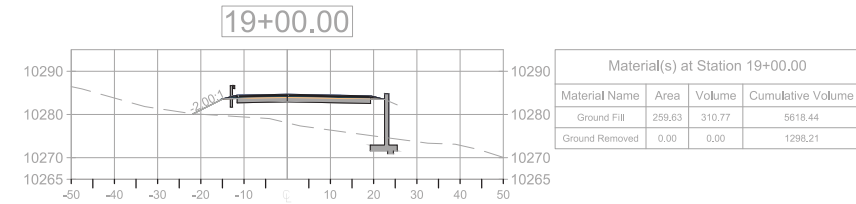
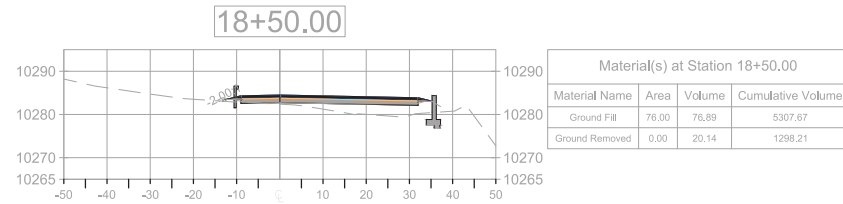
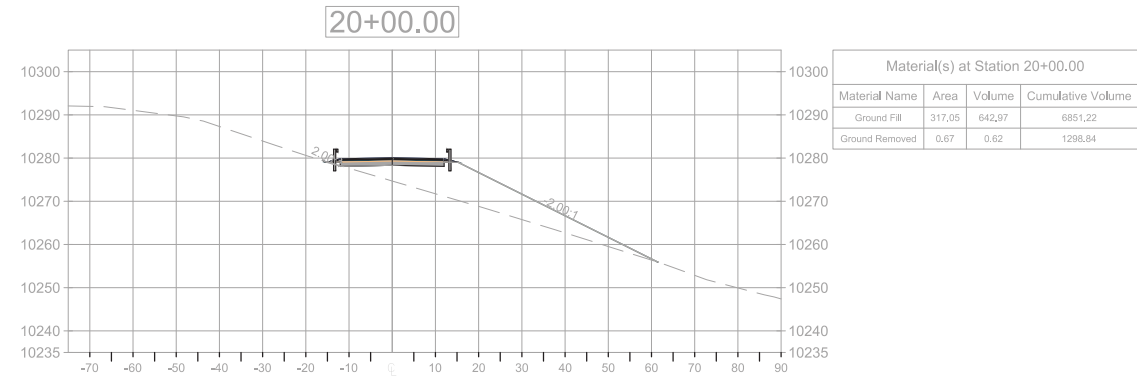
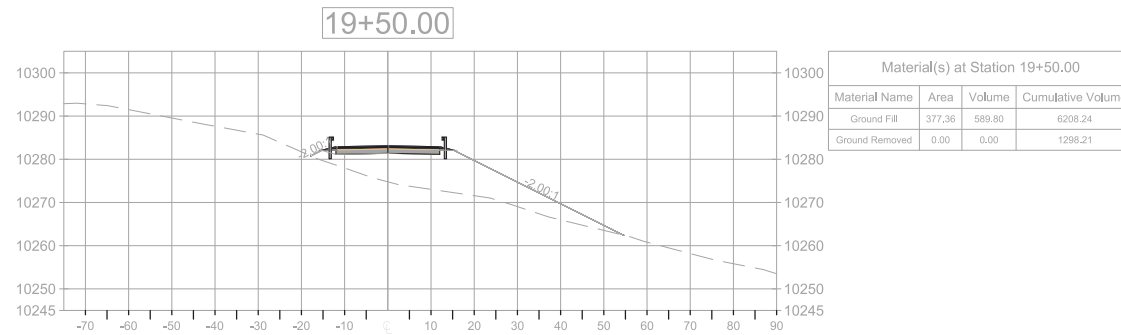
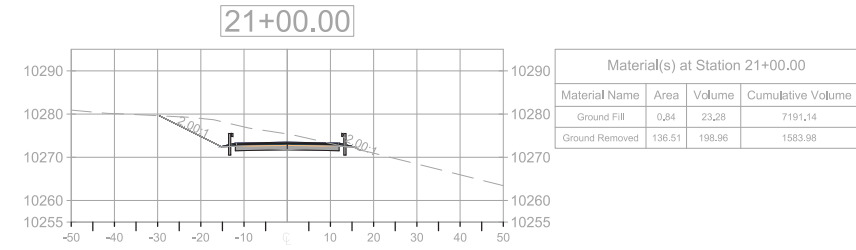
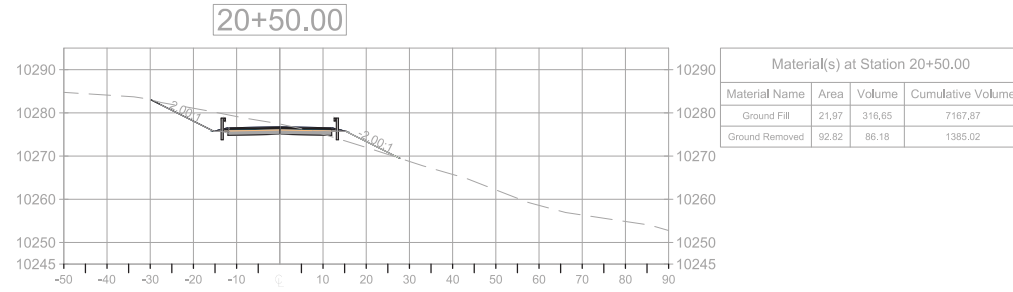
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**SHOPOFF TAOS SKI VALLEY**  
**TAOS, NEW MEXICO**  
 THE LODGE ROAD CROSS SECTIONS2

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**C-20**





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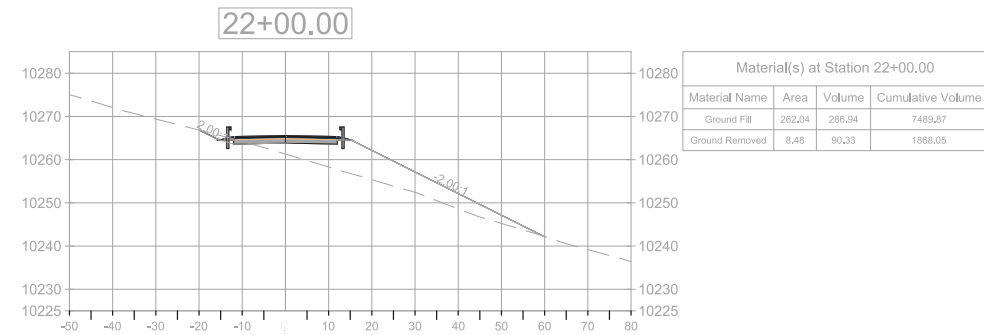
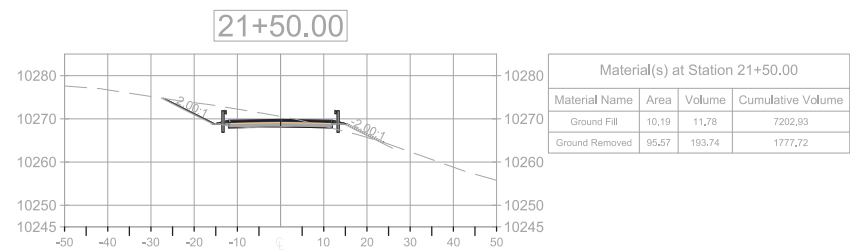
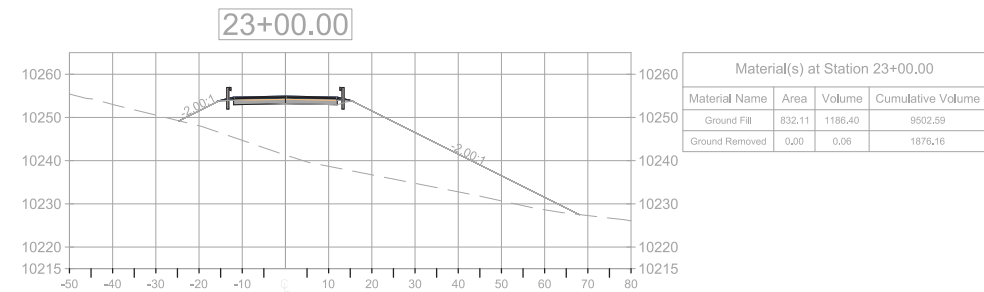
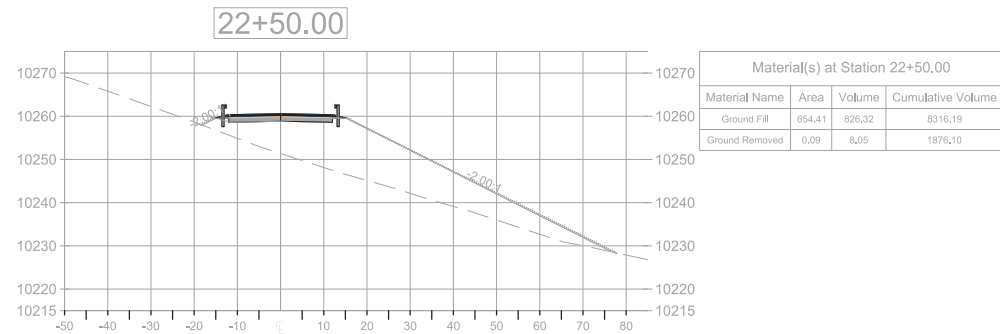
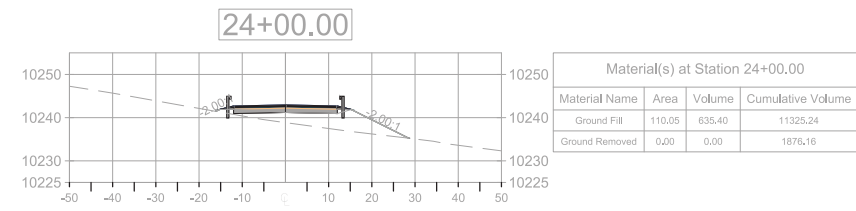
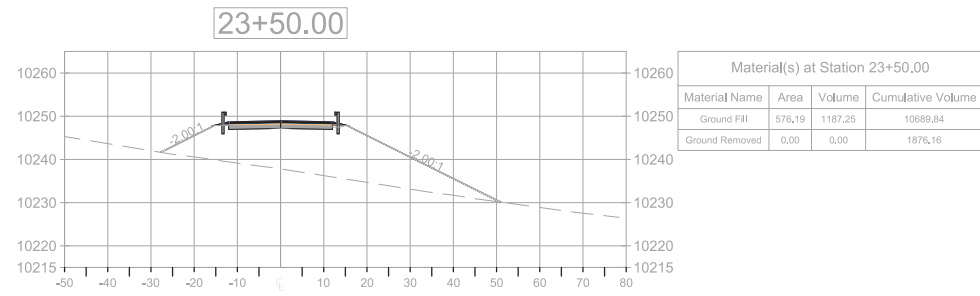
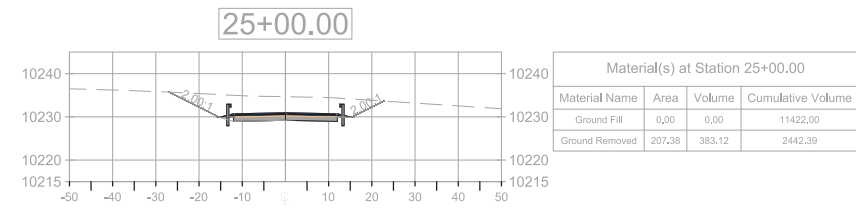
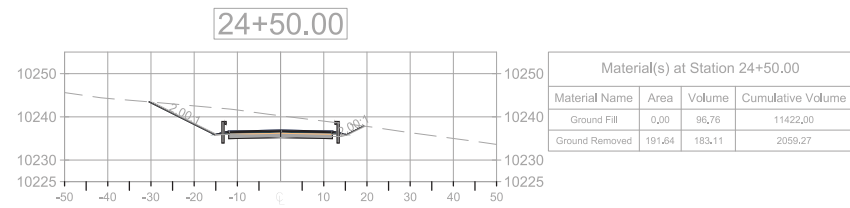
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 TAOS, NEW MEXICO  
 THE LODGE ROAD CROSS SECTIONS3

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 TAOS, NEW MEXICO  
 THE LODGE ROAD CROSS SECTIONS4

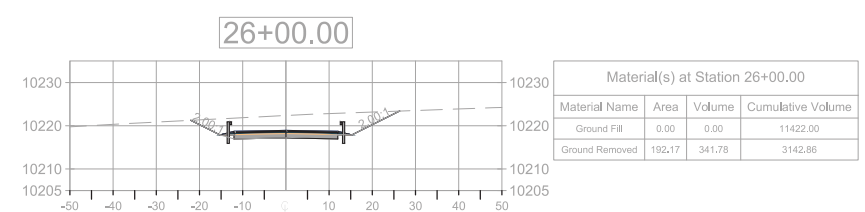
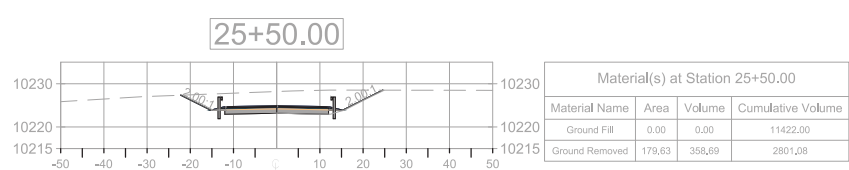
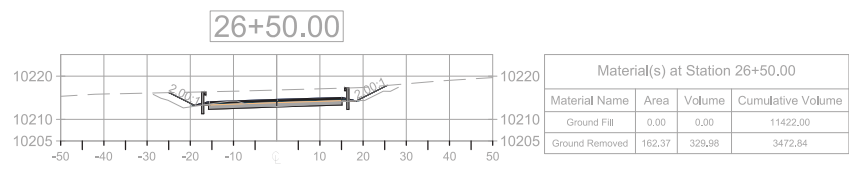
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 Vert: \_\_\_\_\_  
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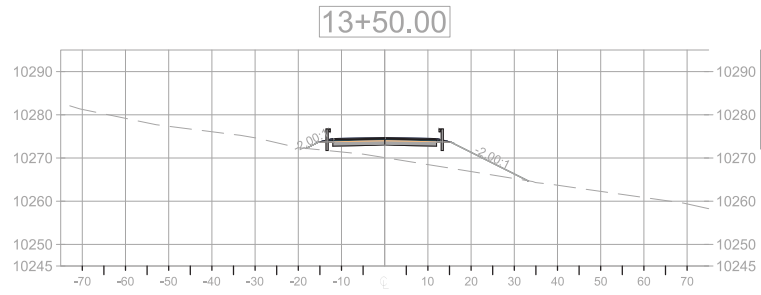
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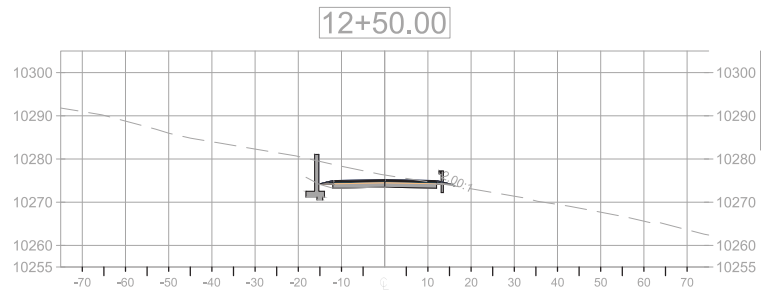
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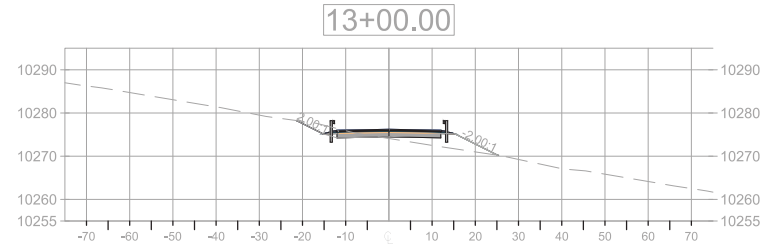




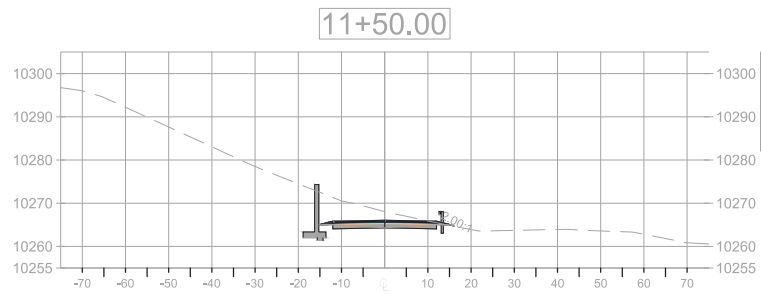
Material(s) at Station 13+50.00			
Material Name	Area	Volume	Cumulative Volume
Ground Fill	162.36	195.79	819.01
Ground Removed	0,00	21,34	1107,66



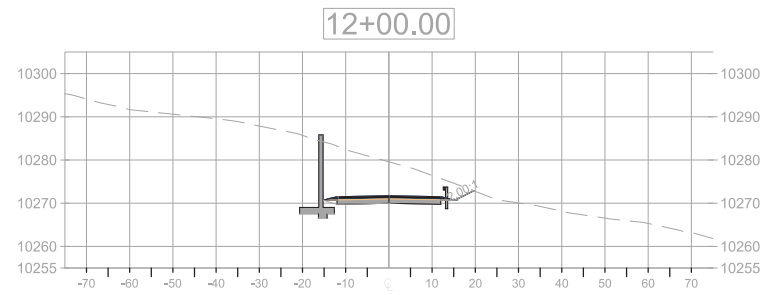
Material(s) at Station 12+50.00			
Material Name	Area	Volume	Cumulative Volume
Ground Fill	0,40	0,32	577,39
Ground Removed	99,49	375,80	972,86



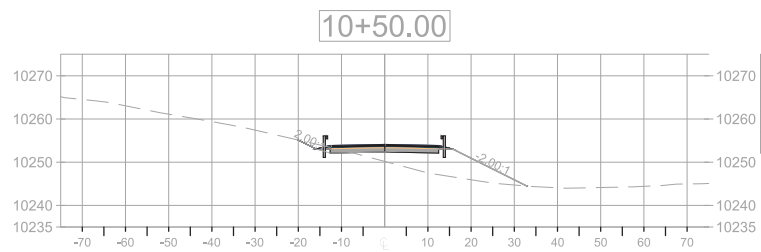
Material(s) at Station 13+00.00			
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Ground Fill	49,09	45,83	623,22
Ground Removed	23,04	113,46	1086,32



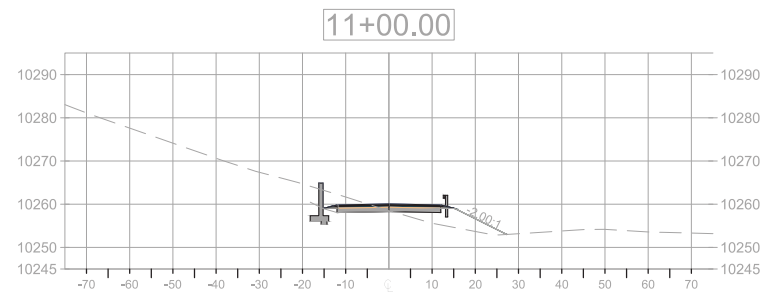
Material(s) at Station 11+50.00			
Material Name	Area	Volume	Cumulative Volume
Ground Fill	0,18	58,59	576,93
Ground Removed	107,09	150,61	215,52



Material(s) at Station 12+00.00			
Material Name	Area	Volume	Cumulative Volume
Ground Fill	0,00	0,15	577,08
Ground Removed	292,53	381,45	597,06



Material(s) at Station 10+50.00			
Material Name	Area	Volume	Cumulative Volume
Ground Fill	139,24	333,86	333,86
Ground Removed	9,79	6,34	6,34



Material(s) at Station 11+00.00			
Material Name	Area	Volume	Cumulative Volume
Ground Fill	65,97	184,48	518,34
Ground Removed	52,04	58,66	65,00

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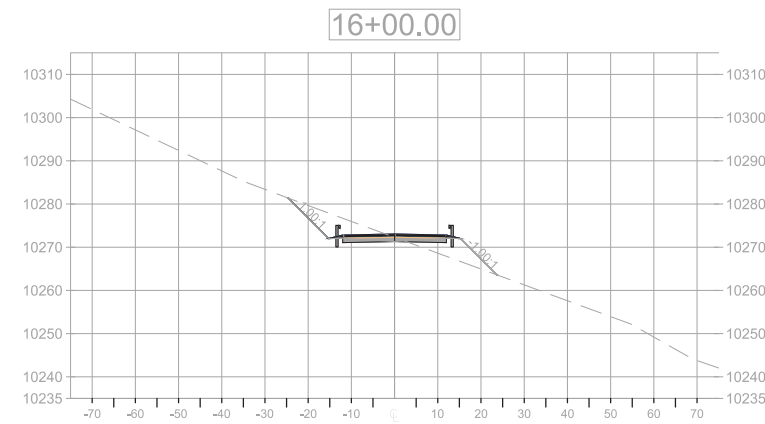
TAOS  
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 SHOPOFF TAOS SKI VALLEY  
 TAOS, NEW MEXICO  
 THE LODGE ROAD SOUTH CROSS  
 SECTIONS1

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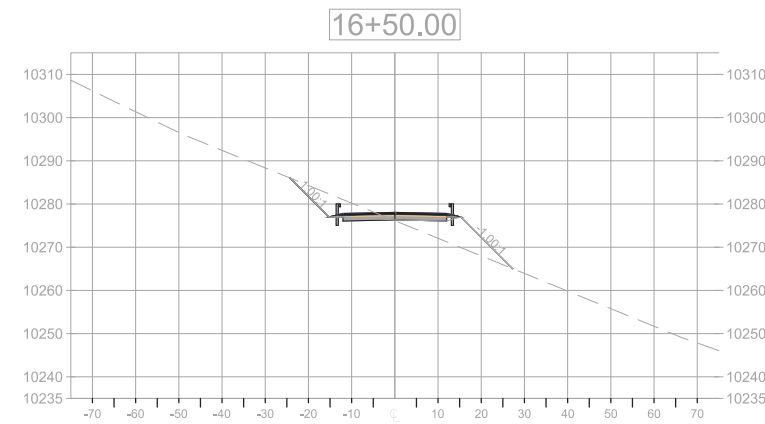
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JMC	SAT	RJS

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 Sheet:  
**C-24**

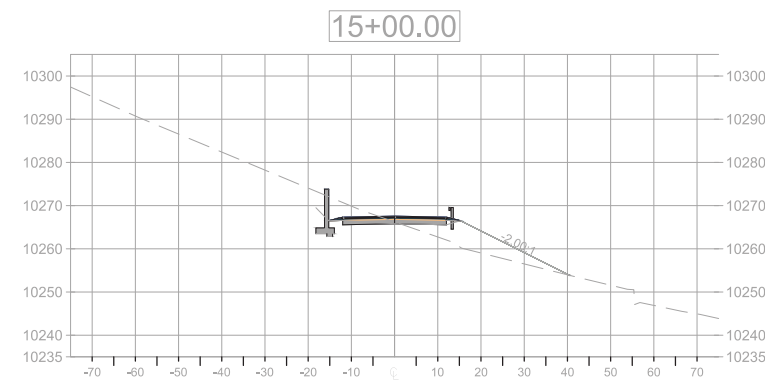




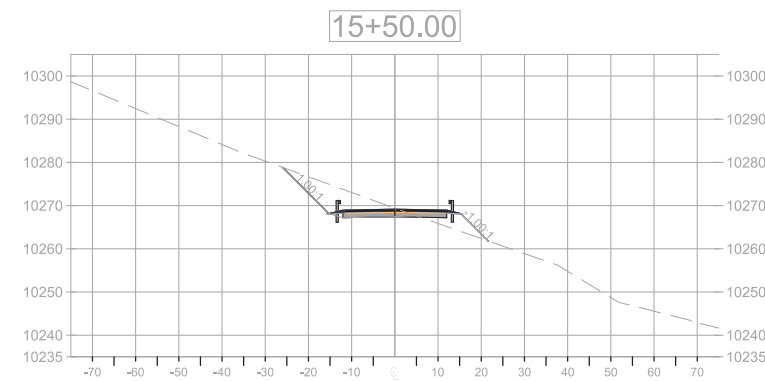
Material(s) at Station 16+00.00			
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Ground Fill	58.08	81.27	1751.35
Ground Removed	79.62	189.19	1725.64



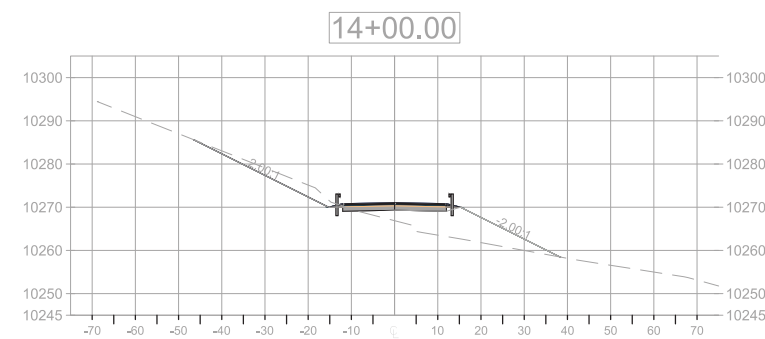
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Ground Fill	91.72	132.56	1883.91
Ground Removed	62.06	136.50	1862.14



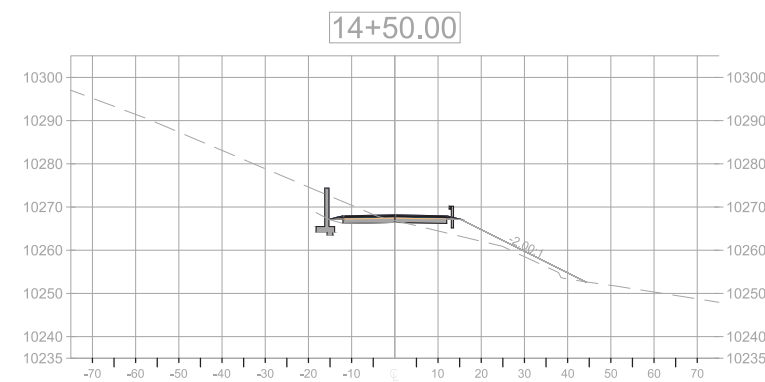
Material(s) at Station 15+00.00			
Material Name	Area	Volume	Cumulative Volume
Ground Fill	113.94	43.64	1531.68
Ground Removed	56.25	25.17	1378.75



Material(s) at Station 15+50.00			
Material Name	Area	Volume	Cumulative Volume
Ground Fill	35.54	138.41	1670.09
Ground Removed	114.06	157.70	1536.45



Material(s) at Station 14+00.00			
Material Name	Area	Volume	Cumulative Volume
Ground Fill	174.20	311.63	1130.64
Ground Removed	50.93	47.16	1154.82



Material(s) at Station 14+50.00			
Material Name	Area	Volume	Cumulative Volume
Ground Fill	76.17	231.83	1362.46
Ground Removed	63.19	105.67	1260.49

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TAOS  
 SHOPOFF TAOS SKI VALLEY  
 TAOS, NEW MEXICO  
 THE LODGE ROAD SOUTH CROSS  
 SECTIONS 2

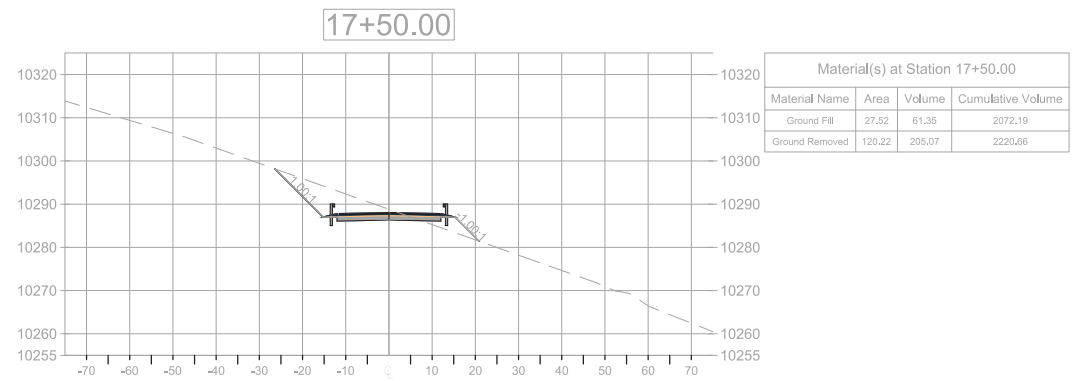
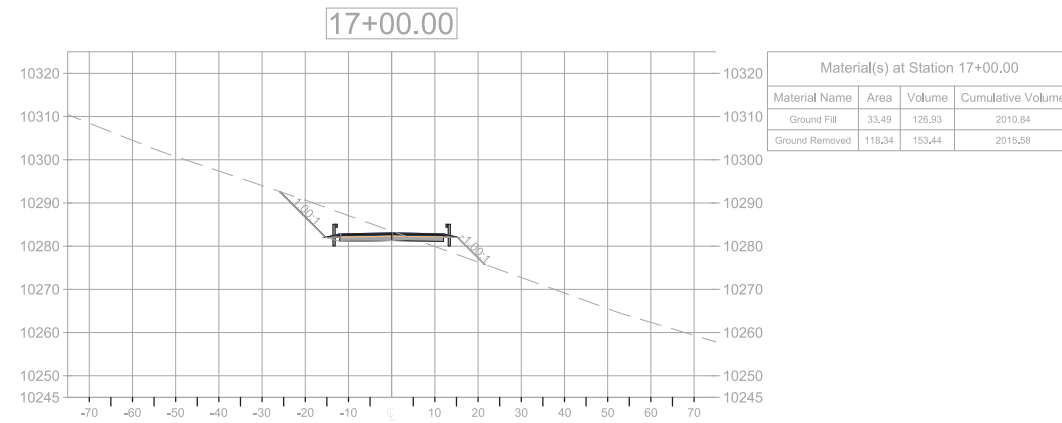
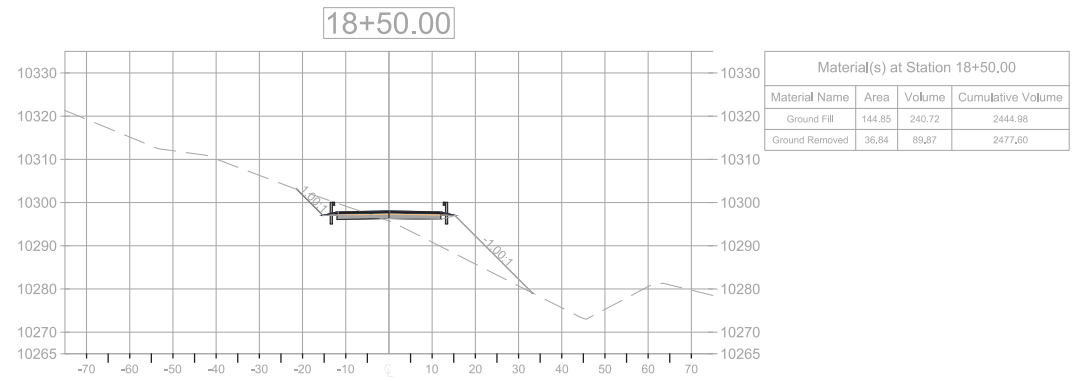
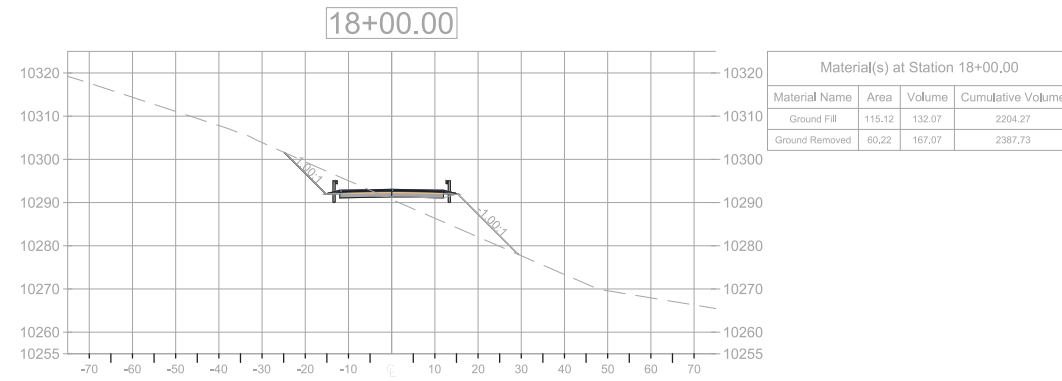
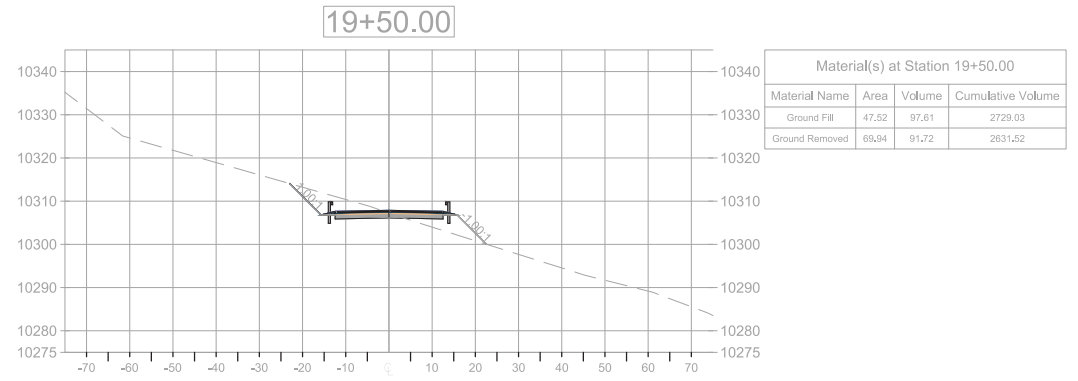
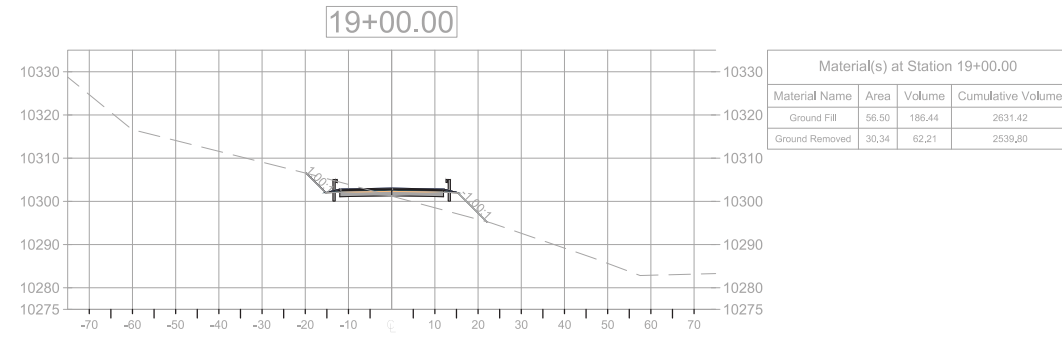
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 SECTIONS 3

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JMC	SAT	RJS

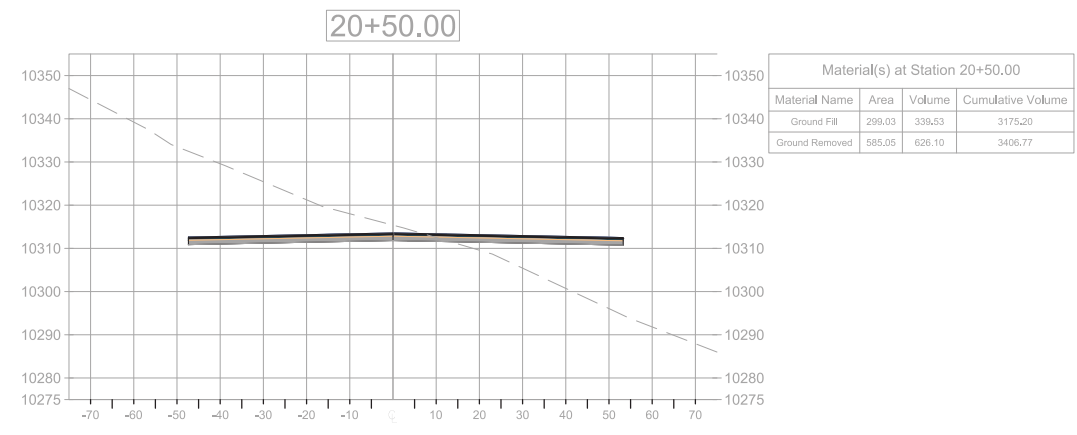
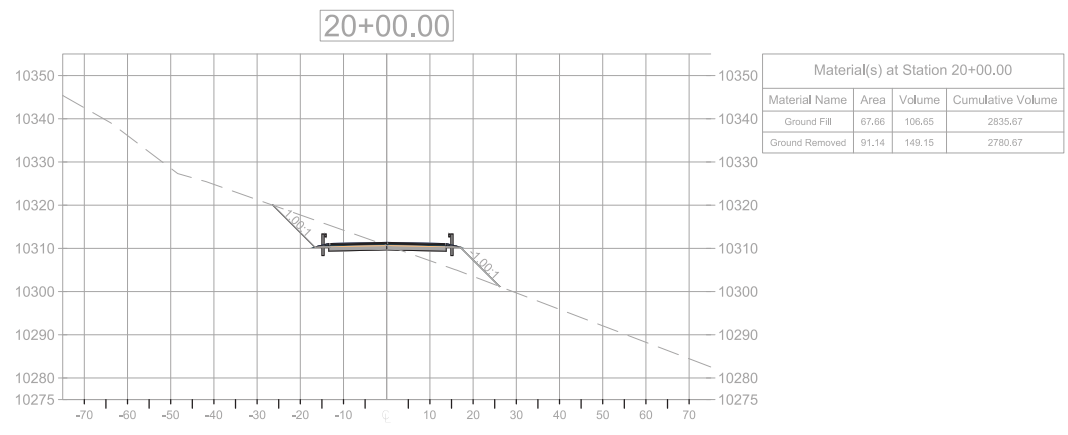
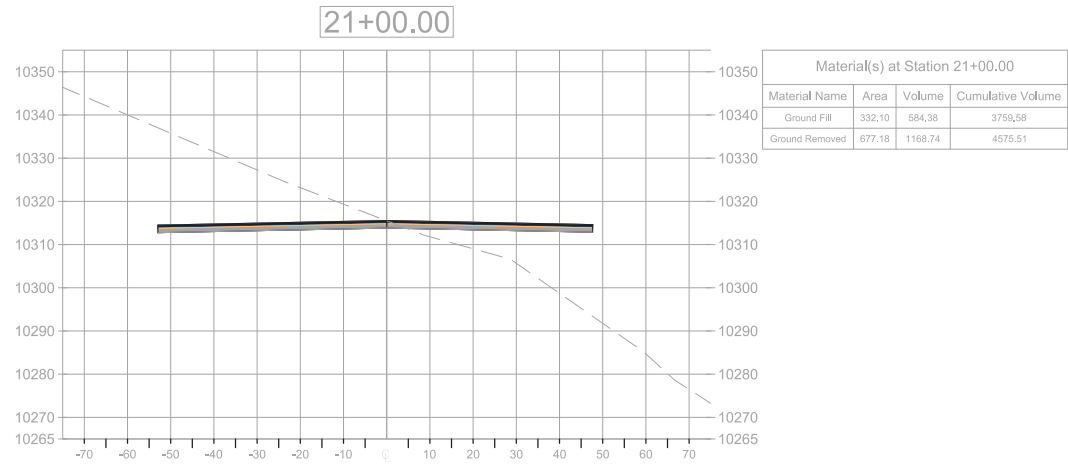
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**TAOS, NEW MEXICO**  
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 SECTIONS 4

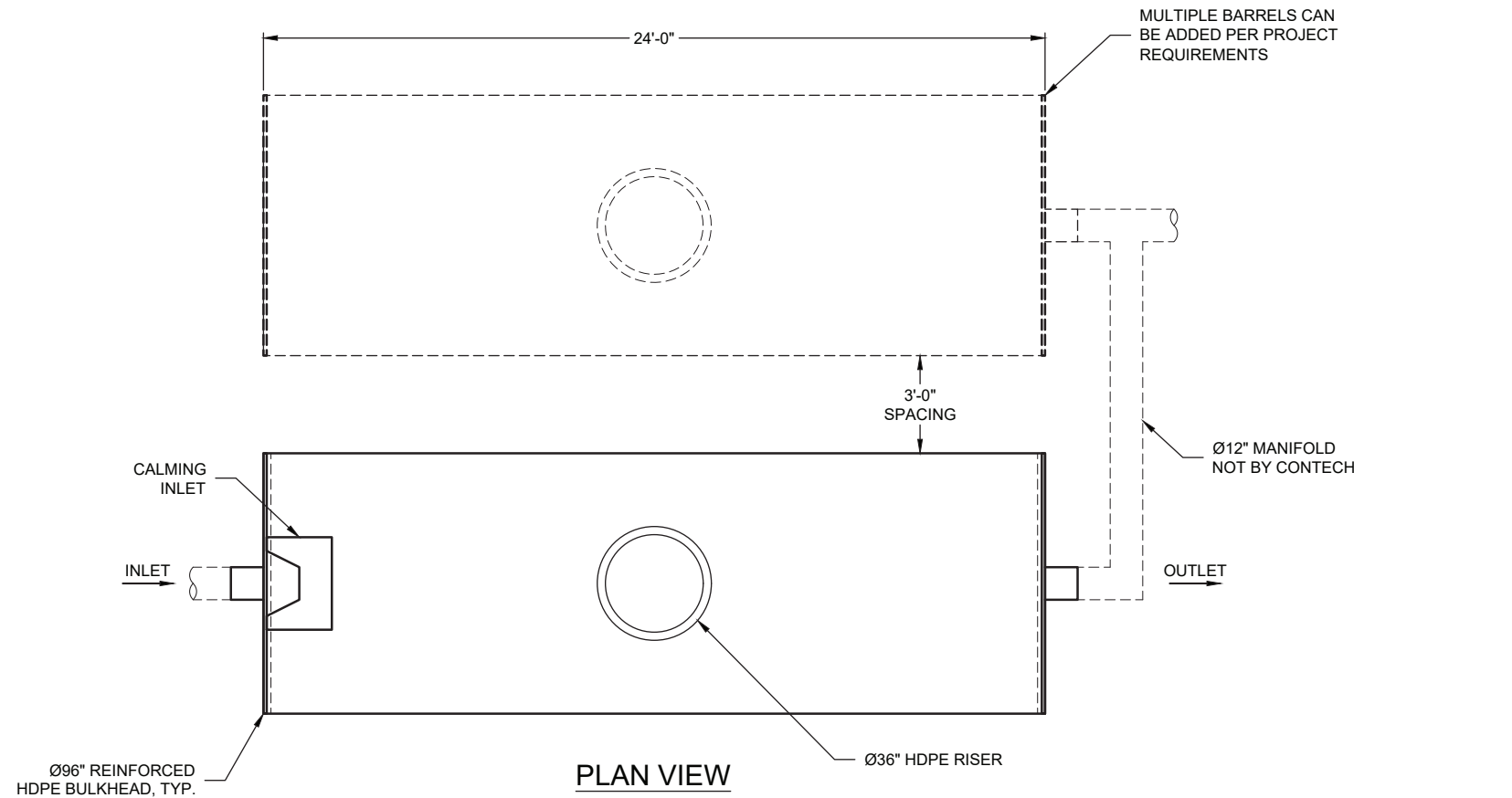
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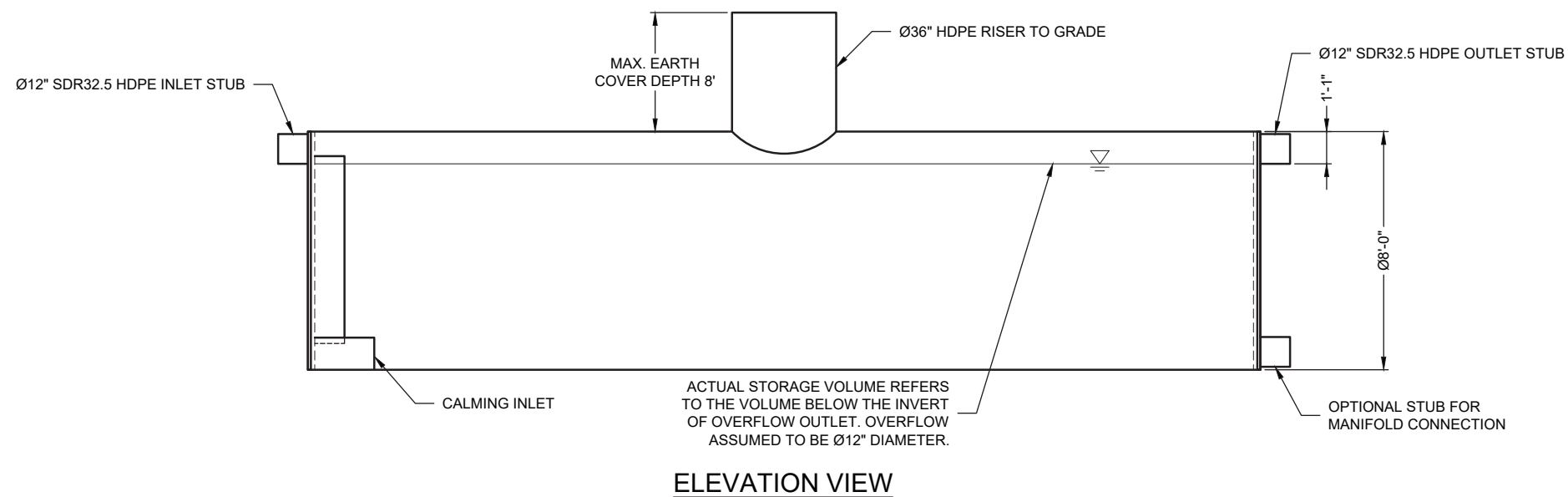
Designed JMC	Drawn SAT	Checked RJS
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 Project No: \_\_\_\_\_  
 Sheet: **C-27**





**ASSEMBLY**  
 SCALE: 1" = 5'  
 TOTAL CISTERN VOLUME: 8,744 GAL. (1.169 C.F.)  
 ACTUAL STORAGE VOLUME: 8,003 GAL.  
 ESTIMATED HEAVIEST PICK WEIGHT= 3,250 LBS.  
 LOADING: H20/H25



**NOTES**

- MULTIPLE TANK LAYOUTS AVAILABLE.
- ALL FITTINGS AND REINFORCEMENT COMPLY WITH ASTM D3350.
- ALL RISERS AND STUBS ARE HIGH DENSITY POLYETHYLENE UNLESS OTHERWISE NOTED.
- RISERS TO BE FIELD TRIMMED TO GRADE.
- FLOTATION CONTROL IS CRITICAL AND THE RESPONSIBILITY OF THE INSTALLER. THE INFORMATION IS SUBMITTED AS A GUIDELINE ONLY. CONTECH IS NOT RESPONSIBLE FOR THE USE AND INTERPRETATION OF THIS INFORMATION.
- ALL TANKS ARE TESTED FOR WATERTIGHTNESS PRIOR TO SHIPMENT.

P:\9-SHOPOFF TAOS SKI VALLEY (6427120)\CAD\CIVIL\PLAN SET\URGRWH SRPE 96 INCH 8500 GAL CISTERN.DWG 10/2/2019 3:38 PM

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**URBANGREEN**

Ø96" URBANGREEN RWH SRPE CISTERN  
 Ø96" X 24' LONG  
 8,500 GAL

PROJECT No.: ----	SEQ. No.: ----	DATE: 2/1/2016
DESIGNED: DRA	DRAWN: ASB	
CHECKED:	APPROVED:	
SHEET NO.: 1 OF 4		



**SPECIFICATION FOR STEEL REINFORCED POLYETHYLENE PIPE**

**SCOPE**

THIS SPECIFICATION COVERS THE MANUFACTURE AND INSTALLATION OF THE STEEL REINFORCED POLYETHYLENE PIPE DETAILED IN THE PROJECT PLANS.

**DESCRIPTION**

DUROMAXX IS A REINFORCED POLYETHYLENE PIPE WITH A SMOOTH WATERWAY WALL AND EXTERIOR PROFILE THAT IS REINFORCED WITH HIGH STRENGTH GALVANIZED STEEL RIBS. THE CONTINUOUS REINFORCING RIBS ARE COMPLETELY ENCASED WITHIN THE POLYETHYLENE PROFILE. DUROMAXX IS MANUFACTURED USING A HELICAL WINDING PROCESS THAT RESULTS IN A CONTINUOUSLY FUSION WELDED CIRCUMFERENTIAL LAP SEAM. THE PIPE PROFILE IS MANUFACTURED USING A HIGH QUALITY PRESSURE-RATED THERMOPLASTIC MEETING THE REQUIREMENTS OF ASTM F2562 "STANDARD SPECIFICATION FOR STEEL REINFORCED THERMOPLASTIC RIBBED PIPE AND FITTINGS FOR NON-PRESSURE DRAINAGE AND SEWERAGE". FOR THE PURPOSE OF HYDRAULIC DESIGN, THE RECOMMENDED MANNING'S "N" VALUE SHALL BE 0.012 FOR PIPE DIAMETERS INCLUDED WITHIN THIS SPECIFICATION. PIPE LENGTH & ALL DIMENSIONS SHOWN ARE SUBJECT TO MANUFACTURERS TOLERANCES OF ±1% ACCORDING TO ASTM F2562.

**MATERIAL PROPERTIES**

VIRGIN HIGH DENSITY POLYETHYLENE PRESSURE-RATED RESINS ARE USED TO MANUFACTURE DUROMAXX PIPE. RESINS SHALL CONFORM TO THE MINIMUM REQUIREMENTS OF CELL CLASSIFICATION 345464 C AS DEFINED AND DESCRIBED IN THE LATEST VERSION OF ASTM D3350 "STANDARD SPECIFICATION FOR POLYETHYLENE PLASTICS PIPE AND FITTINGS MATERIALS".

**FITTINGS**

ALL FITTINGS SHALL BE FABRICATED FROM DUROMAXX PIPE. ANY FITTINGS 30"Ø AND BELOW WILL BE HDPE PIPE.

ALL FABRICATION OF THE PRODUCT SHALL OCCUR WITHIN THE UNITED STATES.

**INSTALLATION**

INSTALLATION SHALL BE IN ACCORDANCE WITH ASTM D2321 "PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY-FLOW APPLICATIONS" ALONG WITH PRODUCT-SPECIFIC RECOMMENDATIONS CONTAINED IN CONTECH INSTALLATION GUIDELINES FOR DUROMAXX PIPE.

**INSTALLATION**

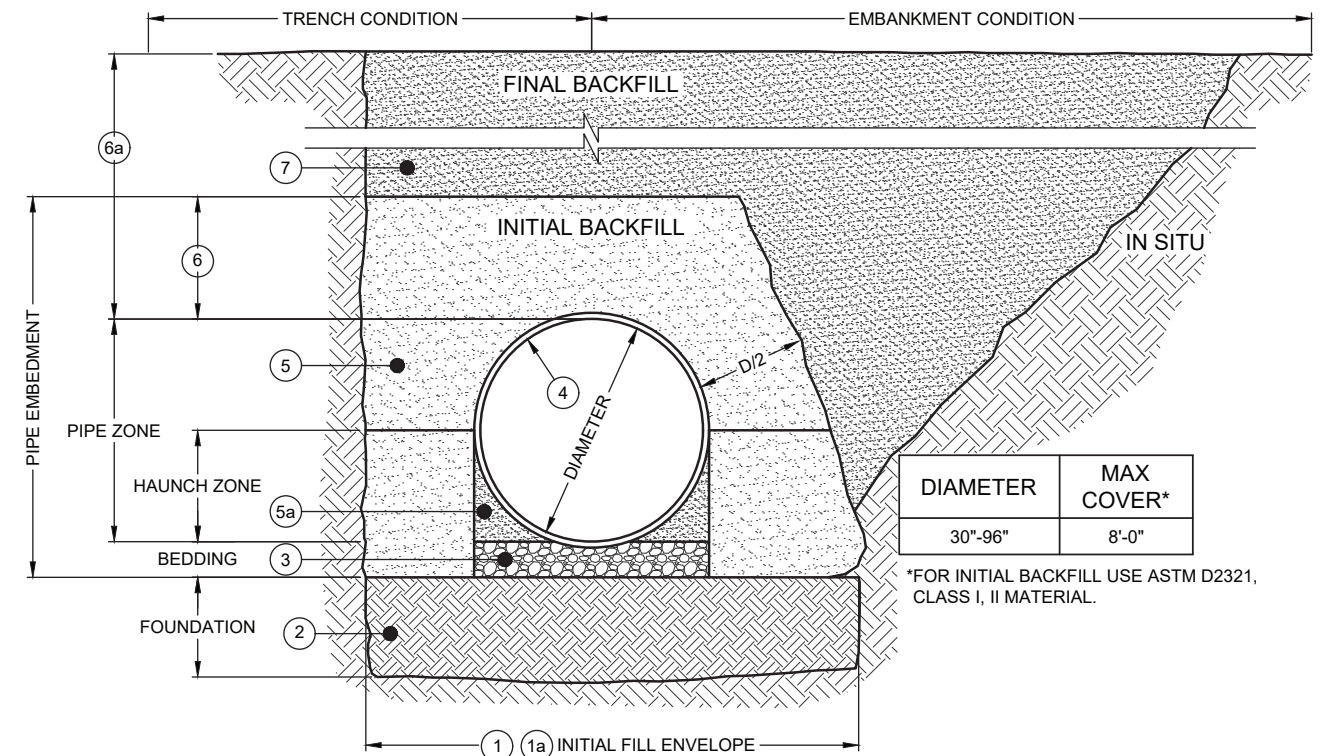
**PRE-CONSTRUCTION MEETING**

PRIOR TO INSTALLATION OF THE DRAINAGE SYSTEM A PRE-CONSTRUCTION MEETING SHALL BE CONDUCTED. THOSE REQUIRED TO ATTEND ARE THE SUPPLIER OF THE DRAINAGE SYSTEM, THE GENERAL CONTRACTOR, SUB CONTRACTORS AND THE ENGINEER.

**INSTALLATION OF PIPE:**

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR PROJECT ENGINEER TO ENSURE THAT ALL QUESTIONS ABOUT INSTALLATION ARE ADDRESSED PRIOR TO APPROVAL OF SYSTEM. ALL DETAILS FOR INSTALLATION ARE LOCATED IN THIS DRAWING PACKAGE ANY QUESTIONS CONCERNING THESE STANDARD DETAILS CAN BE ADDRESSED BY YOUR CONTECH REPRESENTATIVE PRIOR TO APPROVAL.

BACKFILL SHALL BE PLACED TO THE PROPER ELEVATION OVER THE SYSTEM AS OUTLINED IN THE PLANS. MINIMUM COVER FOR CONSTRUCTION LOADING NEEDS TO BE DETERMINED BASED ON THE TYPE OF EQUIPMENT THAT IS PLANNED FOR CONSTRUCTION. PROPER COVER FOR CONSTRUCTION EQUIPMENT SHALL BE DETERMINED PRIOR TO THE PRE-CONSTRUCTION MEETING BY THE ENGINEER.



- ① MINIMUM TRENCH WIDTH MUST ALLOW ROOM FOR PROPER COMPACTION OF HAUNCH MATERIALS UNDER PIPE. MIN. WIDTH = (1.25 x DIAMETER) + 12" (FOLLOW ASTM D2321)
- ①a MINIMUM EMBANKMENT WIDTH IS 3 PIPE DIAMETERS BUT NO LESS THAN 2' OUTSIDE OF SPRINGLINE.
- ② FOUNDATION SHALL BE WELL CONSOLIDATED & STABLE.
- ③ BEDDING MATERIAL SHALL BE A RELATIVELY LOOSE MATERIAL THAT IS ROUGHLY SHAPED TO FIT THE BOTTOM OF THE PIPE, 4" TO 6" IN DEPTH.
- ④ DUROMAXX STEEL REINFORCED (SRPE) PIPE.
- ⑤ INITIAL BACKFILL FOR PIPE EMBEDMENT MATERIAL TO MEET ASTM D2321 CLASS I, II, III OR APPROVED EQUAL, COMPACTED TO 90% STANDARD PROCTOR (NATIVE MATERIAL CAN BE UTILIZED THAT MEETS ASTM D2321 OR APPROVED EQUAL).
  - ALL LIFTS PLACED IN CONTROLLED MANNER. TO PREVENT UNEVEN LOADING, IT IS RECOMMENDED THAT LIFTS NOT EXCEED 8" UNCOMPACTED LIFT HEIGHTS.
- ⑤a HAUNCH ZONE MATERIAL SHALL BE HAND SHOVELED OR SHOVEL SLICED INTO PLACE TO ALLOW FOR PROPER COMPACTION.
- ⑥ INITIAL BACKFILL ABOVE PIPE MAY INCLUDE ROAD BASE MATERIAL AND RIGID PAVEMENT (IF APPLICABLE), MINIMUM COVER STILL APPLIES, OTHERWISE:
  - 12" MINIMUM FOR PIPE DIAMETERS 66" - 96"
- ⑥a HEIGHT OF COMPACTED COVER PER DIAMETER FOR CONVENTIONAL HIGHWAY LOADS (DISTANCE MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TOP OF RIGID PAVEMENT):
  - 24" MINIMUM FOR PIPE DIAMETERS 84" - 96"
- ⑦ FINAL BACKFILL MATERIAL SELECTION AND COMPACTION REQUIREMENTS PER THE PROJECT PLANS, SPECIFICATIONS, ENGINEER OF RECORD.

DIAMETER	MAX COVER*
30"-96"	8'-0"

\*FOR INITIAL BACKFILL USE ASTM D2321, CLASS I, II MATERIAL.

- NOTES:
- GEOTEXTILE SHALL BE USED AS REQUIRED TO PREVENT SOIL MIGRATION.
  - FOR MULTIPLE BARREL INSTALLATION THE RECOMMENDED STANDARD SPACING BETWEEN PARALLEL PIPE RUNS SHALL BE = PIPE DIA./2 OR 3' FOR PIPE DIAMETERS 72" AND LARGER. CONTACT YOUR CONTECH REPRESENTATIVE FOR NONSTANDARD SPACING.
  - BACKFILL REQUIREMENTS SHALL FOLLOW ASTM D2321. IN THE EVENT OF DISCREPANCIES, ASTM D2321 SHALL SUPERCEDE THIS DETAIL.

① BACKFILL DETAIL  
② SCALE: N.T.S.

P:\9-SHOPOFF TAOS SKI VALLEY (6427120)\CAD\CIVIL\PLAN SET\URGRWH SRPE 96 INCH 8500 GAL CISTER.DWG 10/2/2019 3:38 PM

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MARK	DATE	REVISION DESCRIPTION	BY

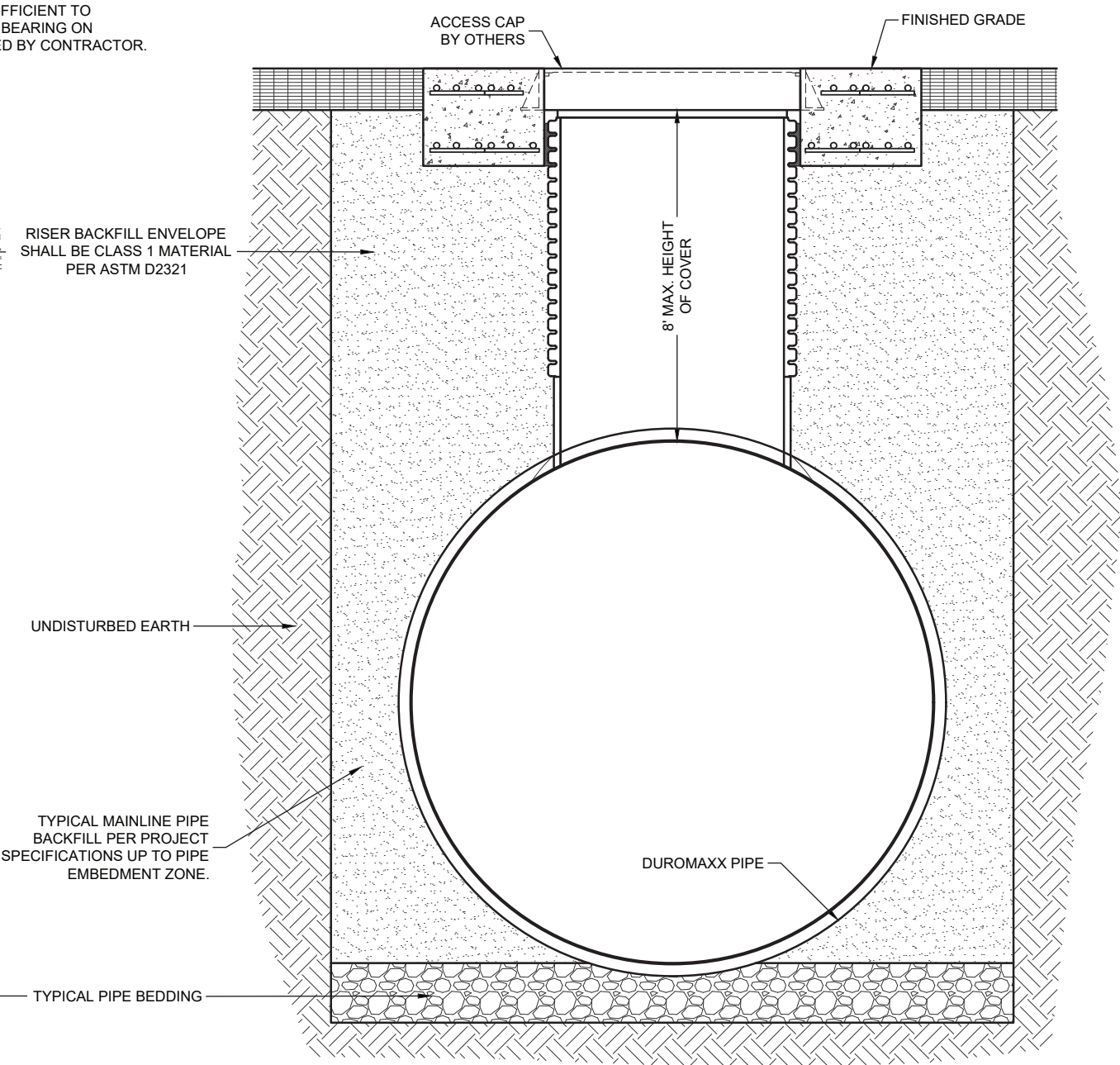
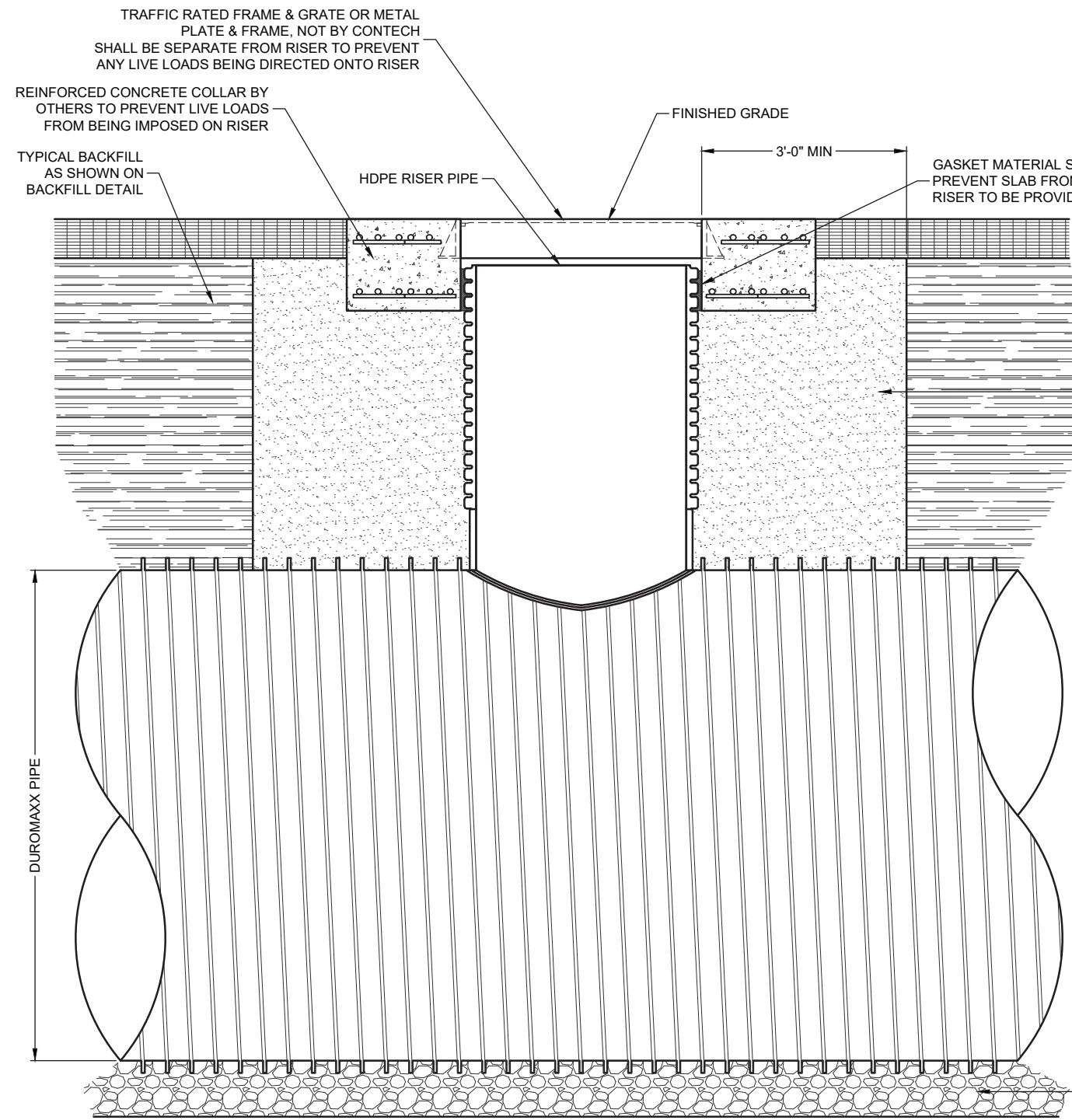
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ENGINEERED SOLUTIONS LLC  
www.ContechES.com  
200 Enterprise Drive, Scarborough, ME 04074  
877-907-8676 207-885-9830 207-885-9825 FAX

**URBANGREEN**

Ø96" URBANGREEN RWH SRPE CISTERN  
Ø96" X 24' LONG  
8,500 GAL

PROJECT No.: ----	SEQ. No.: ----	DATE: 2/1/2016
DESIGNED: DRA	DRAWN: ASB	
CHECKED: 	APPROVED: 	
SHEET NO.: 2 OF 4		





2 STANDARD RISER INSTALLATION DETAIL  
3 SCALE: N.T.S.

P:\9-SHOPOFF TAOS SKI VALLEY (9427120)\CAD\CIVIL\PLAN SET\URGRWH SRPE 96 INCH 8500 GAL CISTERNA.DWG 10/22/2019 3:39 PM

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ENGINEERED SOLUTIONS LLC  
www.ContechES.com  
11815 NE Glenn Widing Drive, Portland, OR 97220  
800-548-4667 503-240-3393 800-561-1271 FAX

**URBANGREEN**

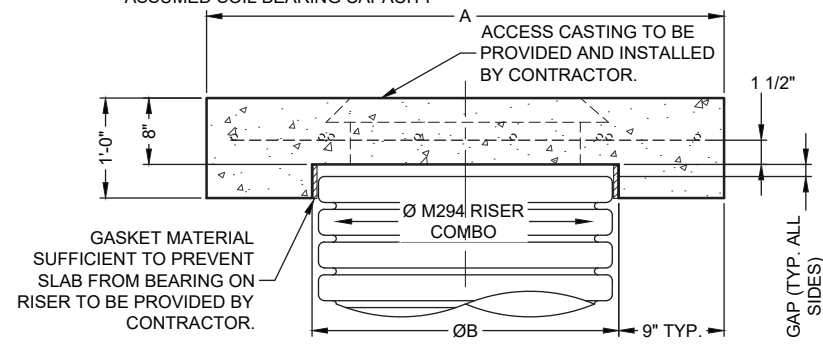
Ø96" URBANGREEN RWH SRPE CISTERN  
Ø96" X 24' LONG  
8,500 GAL

PROJECT No.: ----	SEQ. No.: ----	DATE: 2/1/2016
DESIGNED: DRA	DRAWN: ASB	
CHECKED:	APPROVED:	
SHEET NO.: 3 OF 4		

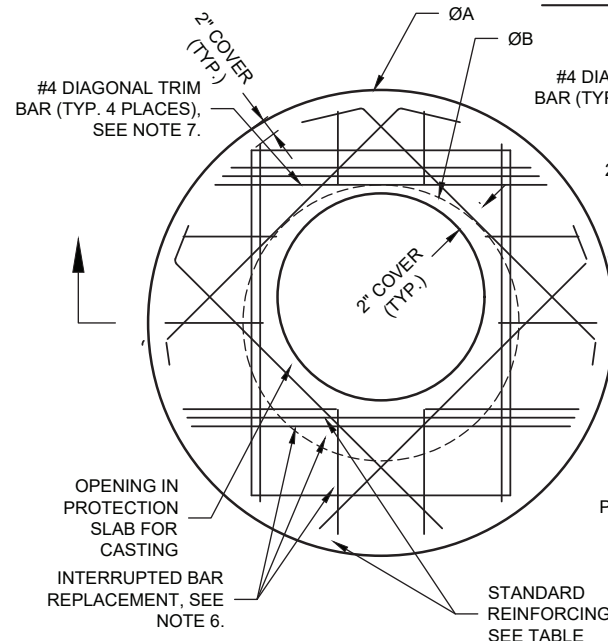


REINFORCING TABLE				
RISER Ø	A	Ø B	REINFORCING	**BEARING PRESSURE (PSF)
36"	Ø 5'-0" 5'-0" X 5'-0"	42"	#4 @ 9" OCEW #4 @ 7" OCEW	2,410 1,660

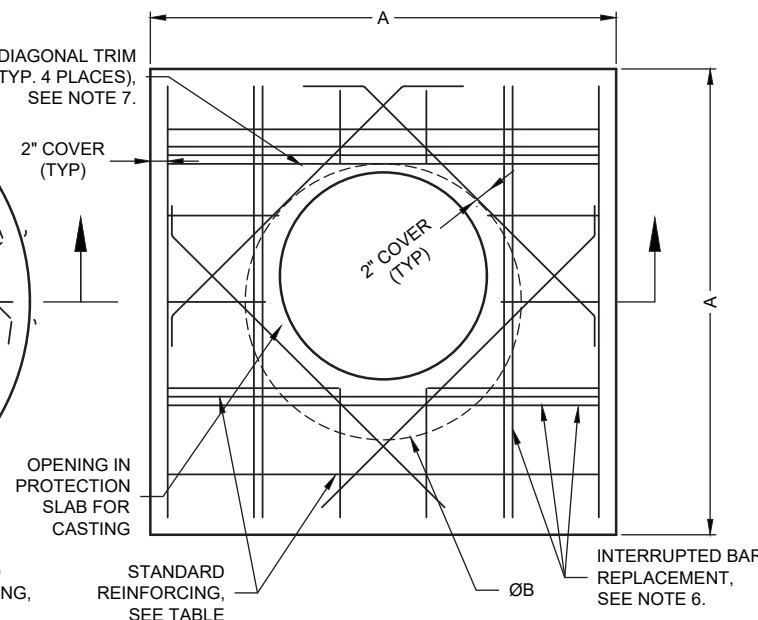
\*\* ASSUMED SOIL BEARING CAPACITY



SECTION VIEW



ROUND OPTION PLAN VIEW



SQUARE OPTION PLAN VIEW

NOTES:

- DESIGN IN ACCORDANCE WITH AASHTO, 17th EDITION.
- DESIGN LOAD HS25.
- EARTH COVER = 1' MAX.
- CONCRETE STRENGTH = 3,500 psi
- REINFORCING STEEL = ASTM A615, GRADE 60.

- PROVIDE ADDITIONAL REINFORCING AROUND OPENINGS EQUAL TO THE BARS INTERRUPTED, HALF EACH SIDE. ADDITIONAL BARS TO BE IN THE SAME PLANE.

- TRIM OPENING WITH DIAGONAL #4 BARS, EXTEND BARS A MINIMUM OF 12" BEYOND OPENING, BEND BARS AS REQUIRED TO MAINTAIN BAR COVER.

- PROTECTION SLAB AND ALL MATERIALS TO BE PROVIDED AND INSTALLED BY CONTRACTOR.

- DETAIL DESIGN BY DELTA ENGINEERING, BINGHAMTON NY.

3 MANHOLE CAP DETAIL  
4 SCALE: N.T.S.

P:\S\HOPEFF TAOS SKI VALLEY (0427120)\CAD\CIVIL\PLAN SET\URGRWH SRPE 06 INCH 8500 GAL CISTER.DWG 10/2/2019 3:39 PM

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**URBANGREEN**

Ø96" URBANGREEN RWH SRPE CISTERN  
Ø96" X 24' LONG  
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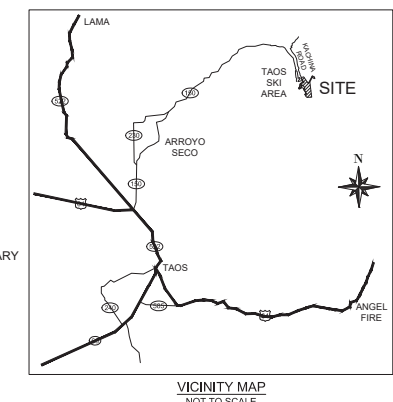
PROJECT No.: ----	SEQ. No.: ----	DATE: 2/1/2016
DESIGNED: DRA	DRAWN: ASB	
CHECKED:	APPROVED:	
SHEET NO.: 4 OF 4		



# PRELIMINARY PLAT PLAN

## THE LODGE & THE LODGE & RESORT AT TAOS SKI VALLEY

A TRACT OF LAND IN SECTIONS 10 AND 15,  
TOWNSHIP 27 NORTH, RANGE 47 EAST, N.M.P.M.,  
VILLAGE OF TAOS SKI VALLEY, TAOS COUNTY, NEW MEXICO



- REFERENCES:**
- BOUNDARY SURVEY PLAT FOR PATTISON FAMILY TRUST RECORDED AS CABINET F, PAGE 8-A IN THE RECORDS OF TAOS COUNTY ON SEPTEMBER 4, 2012.
  - BOUNDARY SURVEY REPLAT OF KACHINA VILLAGE SUBDIVISION RECORDED AS CABINET E, PAGE 128A IN THE RECORDS OF TAOS COUNTY ON JUNE 20, 2007.
  - PLAT OF SURVEY FOR PATTISON TRUST, LLC, BLOCK 4, KACHINA VILLAGE RECORDED AS CABINET F, PAGE 41-A IN THE RECORDS OF TAOS COUNTY ON AUGUST 20, 2015.
  - ADJUSTED LOT 3, BLOCK 2 OF THE KACHINA VILLAGE SUBDIVISION RECORDED AS CABINET E, PAGE 116-A IN THE RECORDS OF TAOS COUNTY ON DECEMBER 19, 2000.
  - REPLAT OF KACHINA VILLAGE, BLOCK 1 RECORDED AS CABINET B, PAGE 166-A IN THE RECORDS OF TAOS COUNTY ON AUGUST 2, 1982.
  - KACHINA SUBDIVISION, BLOCK O RECORDED AS CABINET E, PAGE 44-B IN THE RECORDS OF TAOS COUNTY ON DECEMBER 7, 2004.
  - LOT SPLIT FOR TAOS HOLDINGS, LLC, LOT 7 RECORDED AS CABINET F, PAGE 13-B IN THE RECORDS OF TAOS COUNTY ON MAY 22, 2013.
  - PLAT OF SURVEY FOR THE PATTISON TRUST RECORDED AS CABINET C, PAGE 172-A IN THE RECORDS OF TAOS COUNTY ON MARCH 2, 1995.

**PLAT NOTES:**

BASIS OF BEARINGS: ALL BEARINGS ARE GRID BEARINGS BASED ON GPS OBSERVATIONS AND NEW MEXICO STATE PLANE NAD 1983, CENTRAL ZONE.

ALL DISTANCES ARE GROUND DISTANCES, WITH A GRID TO GROUND SCALE FACTOR OF 1.0005164708 SCALED AT N=2032232.812, E=1878563.105.

COMMITMENTS FOR TITLE INSURANCE REPORT AS PROVIDED TO SURVEYOR: ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, ORDER NO. 99026715 EFFECTIVE DATE AUGUST 22, 2018.

SUBJECT PROPERTY IS LOCATED IN ZONE X, AREA OF MINIMAL FLOOD HAZARD AS SHOWN ON FIRM PANEL 35055C0675E EFFECTIVE DATE OCTOBER 6, 2010.

OWNER OF RECORD: THE LODGE & RESORT AT TAOS SKI VALLEY, LLC., A NEW MEXICO LIMITED LIABILITY COMPANY.

EXISTING UTILITIES SHOWN HEREON ARE BASED ON THE MARKS ESTABLISHED BY THE LOCAL UTILITY LOCATORS.

THE EXISTING PARCELS ARE ZONED "COMMERCIAL BUSINESS ZONE AND AGRICULTURAL ZONE".

THE PROPOSED PARCELS WILL BE ZONED "RESIDENTIAL-COMMERCIAL OVERLAY".

THE RESORT ROAD, THE LODGE ROAD AND THE LODGE ROAD SOUTH ARE TO BE DEDICATED FOR PRIVATE USE AND ARE TO BE MAINTAINED BY THE HOMEOWNERS/PROPERTY OWNERS ASSOCIATION.

THE ACCESS ROAD FROM KACHINA ROAD TO THE THE RESORT HOTEL IS TO BE DEDICATED FOR PRIVATE USE AND IS TO BE MAINTAINED BY THE HOMEOWNERS/PROPERTY OWNERS ASSOCIATION.

UTILITY AND DRAINAGE DESIGNS ARE SHOWN PRELIMINARY ONLY, FOR FINAL DESIGN SEE CONSTRUCTION PLANS

**COVENANTS:**

THE LAND NOTED AS OPEN SPACE WILL BE DEDICATED AS PERPETUAL OPEN SPACE. IT CANNOT BE SUBDIVIDED IN THE FUTURE AND THE PURPOSE OF THE OPEN SPACE WILL CONTINUE IN PERPETUITY. MAINTENANCE OF THE OPEN SPACE SHALL BE THE RESPONSIBILITY OF THE OWNER. OPEN SPACE CANNOT BE TURNED INTO A COMMERCIAL ENTERPRISE WITH ANY FEES WITHOUT AUTHORIZED BY POLICY OR LAW.

**OWNER'S DISCLOSURE AND CONSENT:**

THE UNDERSIGNED OWNER(S) DO HEREBY CONSENT TO THE DIVISION OF THE LANDS SHOWN HEREON AND WARRANT COMPLETE AND INDEFEASIBLE TITLE. THIS LAND SUBDIVISION IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES AND WISHES OF THE LODGE & RESORT AT TAOS SKI VALLEY, LLC

BY: \_\_\_\_\_ DATE \_\_\_\_\_

FOR THE LODGE & RESORT AT TAOS SKI VALLEY, LLC

2 PARK PLAZA  
IRVINE, CA 92614

STATE OF NEW MEXICO )  
COUNTY OF TAOS ) SS

THIS INSTRUMENT HAS BEEN ACKNOWLEDGED BEFORE ME ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2019 BY \_\_\_\_\_

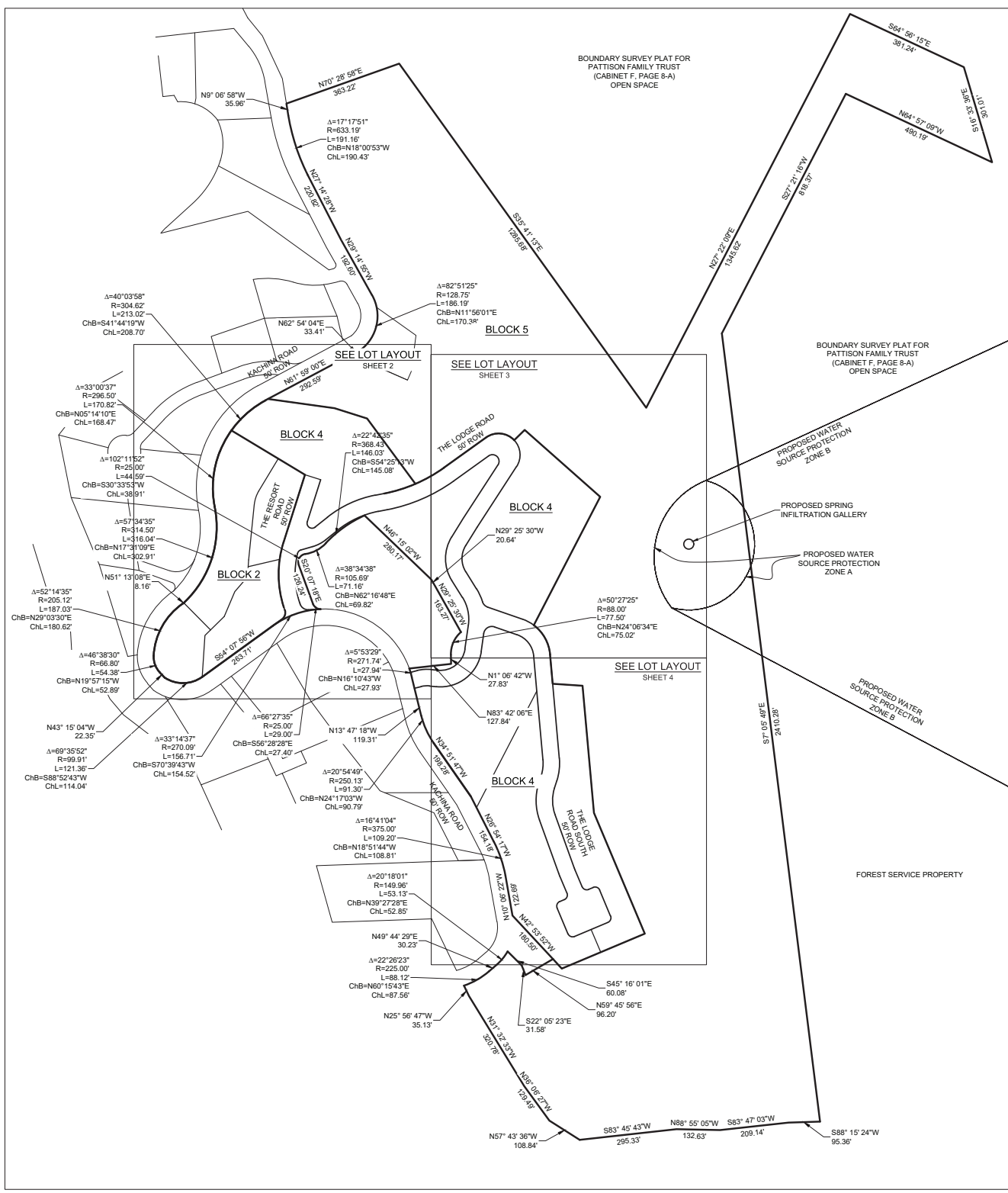
NOTARY PUBLIC  
MY COMMISSION EXPIRES \_\_\_\_\_

**VILLAGE OF TAOS SKI VALLEY APPROVAL:**

I, CERTIFY THAT THE DESIGN OF THIS SUBDIVISION IS APPROPRIATE FOR THE ZONING AND THAT THIS SUBDIVISION IS CONSISTENT WITH APPLICABLE PLANS AND POLICIES OF THE VILLAGE OF TAOS SKI VALLEY AND IS HEREBY APPROVED FOR RECORDATION.

PLANNING OFFICER \_\_\_\_\_ DATE \_\_\_\_\_

VILLAGE OF TAOS SKI VALLEY PLANNING AND ZONING COMMISSION



- SHEET INDEX**
- COVER SHEET/OVERALL BOUNDARY
  - PRELIMINARY PLAT SHEET 2
  - PRELIMINARY PLAT SHEET 2
  - PRELIMINARY PLAT SHEET 2

**LEGAL DESCRIPTION:**

A TRACT OF LAND IN TAOS SKI VALLEY, TAOS COUNTY, NEW MEXICO, WITHIN THE ANTOINE LEROUX GRANT, LOCATED WITHIN SECTIONS 10 AND 15, TOWNSHIP 27 NORTH, RANGE 14 EAST, N.M.P.M., BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A #4 REBAR WITH CAP STAMPED RGS5 LS 12441, SAID POINT BEING THE NORTHEAST CORNER OF THE DESCRIBED PARCEL:

THENCE, SOUTH 35° 41' 13" EAST, A DISTANCE OF 1285.68 FEET;  
 THENCE, NORTH 27° 22' 09" EAST, A DISTANCE OF 1345.62 FEET;  
 THENCE, SOUTH 64° 56' 15" WEST, A DISTANCE OF 381.24 FEET;  
 THENCE, SOUTH 16° 33' 36" EAST, A DISTANCE OF 301.01 FEET;  
 THENCE, NORTH 64° 57' 09" WEST, A DISTANCE OF 490.19 FEET;  
 THENCE, SOUTH 27° 21' 16" WEST, A DISTANCE OF 818.33 FEET;  
 THENCE, SOUTH 07° 05' 04" EAST, A DISTANCE OF 2410.28 FEET;  
 THENCE, SOUTH 88° 15' 24" WEST, A DISTANCE OF 95.36 FEET;  
 THENCE, SOUTH 83° 47' 03" WEST, A DISTANCE OF 209.14 FEET;  
 THENCE, NORTH 88° 59' 05" WEST, A DISTANCE OF 132.63 FEET;  
 THENCE, SOUTH 83° 45' 43" WEST, A DISTANCE OF 295.33 FEET;  
 THENCE, NORTH 57° 43' 36" WEST, A DISTANCE OF 108.84 FEET;  
 THENCE, NORTH 36° 08' 27" WEST, A DISTANCE OF 129.49 FEET;  
 THENCE, NORTH 31° 32' 33" WEST, A DISTANCE OF 320.78 FEET;  
 THENCE, NORTH 25° 56' 47" WEST, A DISTANCE OF 35.13 FEET;  
 THENCE, ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 225.00 FEET (CHORD BEARING NORTH 60° 15' 43" EAST, CHORD DISTANCE OF 87.56 FEET);  
 THENCE, NORTH 49° 44' 29" EAST, A DISTANCE OF 30.23 FEET;  
 THENCE, ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 149.96 FEET (CHORD BEARING NORTH 39° 27' 28" EAST, CHORD DISTANCE OF 52.85 FEET);  
 THENCE, SOUTH 45° 18' 01" EAST, A DISTANCE OF 60.08 FEET;  
 THENCE, SOUTH 22° 05' 23" EAST, A DISTANCE OF 31.58 FEET;  
 THENCE, NORTH 59° 45' 56" EAST, A DISTANCE OF 96.20 FEET;  
 THENCE, NORTH 42° 53' 52" WEST, A DISTANCE OF 180.50 FEET;  
 THENCE, NORTH 10° 08' 22" WEST, A DISTANCE OF 122.69 FEET;  
 THENCE, ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 375.00 FEET (CHORD BEARING NORTH 18° 51' 44" WEST, CHORD DISTANCE OF 108.81 FEET);  
 THENCE, NORTH 26° 54' 17" WEST, A DISTANCE OF 154.18 FEET;  
 THENCE, NORTH 34° 51' 47" WEST, A DISTANCE OF 119.31 FEET;  
 THENCE, ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 271.74 FEET (CHORD BEARING NORTH 16° 10' 43" WEST, CHORD DISTANCE OF 27.93 FEET);  
 THENCE, NORTH 83° 42' 06" EAST, A DISTANCE OF 127.84 FEET;  
 THENCE, NORTH 01° 06' 42" WEST, A DISTANCE OF 27.93 FEET;  
 THENCE, ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 88.00 FEET (CHORD BEARING NORTH 24° 06' 34" EAST, CHORD DISTANCE OF 75.02 FEET);  
 THENCE, NORTH 29° 25' 30" WEST, A DISTANCE OF 163.27 FEET;  
 THENCE, NORTH 29° 25' 30" WEST, A DISTANCE OF 20.64 FEET;  
 THENCE, NORTH 46° 15' 02" WEST, A DISTANCE OF 280.17 FEET;  
 THENCE, ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 368.43 FEET (CHORD BEARING SOUTH 54° 25' 13" WEST, CHORD DISTANCE OF 145.08 FEET);  
 THENCE, ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 105.69 FEET (CHORD BEARING SOUTH 62° 16' 48" WEST, CHORD DISTANCE OF 69.82 FEET);  
 THENCE, ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 25.00 FEET (CHORD BEARING SOUTH 30° 33' 53" WEST, CHORD DISTANCE OF 38.91 FEET);  
 THENCE, SOUTH 20° 07' 18" EAST, A DISTANCE OF 126.24 FEET;  
 THENCE, ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 25.00 FEET (CHORD BEARING SOUTH 56° 28' 28" EAST, CHORD DISTANCE OF 27.40 FEET);  
 THENCE, ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 270.09 FEET (CHORD BEARING SOUTH 70° 39' 43" WEST, CHORD DISTANCE OF 154.52 FEET);  
 THENCE, SOUTH 54° 07' 56" WEST, A DISTANCE OF 263.71 FEET;  
 THENCE, ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 99.91 FEET (CHORD BEARING SOUTH 88° 52' 43" WEST, CHORD DISTANCE OF 52.89 FEET);  
 THENCE, ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 205.12 FEET (CHORD BEARING NORTH 29° 03' 30" EAST, CHORD DISTANCE OF 180.62 FEET);  
 THENCE, NORTH 51° 13' 08" EAST, A DISTANCE OF 8.16 FEET;  
 THENCE, ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 314.50 FEET (CHORD BEARING NORTH 17° 31' 09" EAST, CHORD DISTANCE OF 302.91 FEET);  
 THENCE, ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 296.50 FEET (CHORD BEARING NORTH 05° 14' 10" EAST, CHORD DISTANCE OF 168.47 FEET);  
 THENCE, ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 304.62 FEET (CHORD BEARING NORTH 41° 44' 19" EAST, CHORD DISTANCE OF 208.70 FEET);  
 THENCE, NORTH 61° 59' 00" EAST, A DISTANCE OF 292.59 FEET;  
 THENCE, NORTH 62° 54' 04" EAST, A DISTANCE OF 33.41 FEET;  
 THENCE, ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 128.75 FEET (CHORD BEARING NORTH 11° 56' 01" EAST, CHORD DISTANCE OF 170.38 FEET);  
 THENCE, NORTH 29° 14' 55" WEST, A DISTANCE OF 192.60 FEET;  
 THENCE, NORTH 27° 14' 28" WEST, A DISTANCE OF 220.82 FEET;  
 THENCE, ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 633.19 FEET (CHORD BEARING NORTH 18° 07' 53" WEST, CHORD DISTANCE OF 190.43 FEET);  
 THENCE, NORTH 09° 06' 58" WEST, A DISTANCE OF 35.96 FEET;  
 THENCE, NORTH 70° 28' 58" EAST, A DISTANCE OF 363.22 FEET;

SAID PARCEL CONTAINS 75.18 ACRES MORE OR LESS.

I, JAMES DAVID COMBS, NEW MEXICO PROFESSIONAL SURVEYOR NO. 23200, DO HEREBY CERTIFY THAT THIS PRELIMINARY PLAT PLAN AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; THAT I AM RESPONSIBLE FOR THIS SURVEY; THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

JAMES DAVID COMBS, PS 23200

**DRAFT**

JAMES DAVID COMBS  
23200  
PROFESSIONAL SURVEYOR

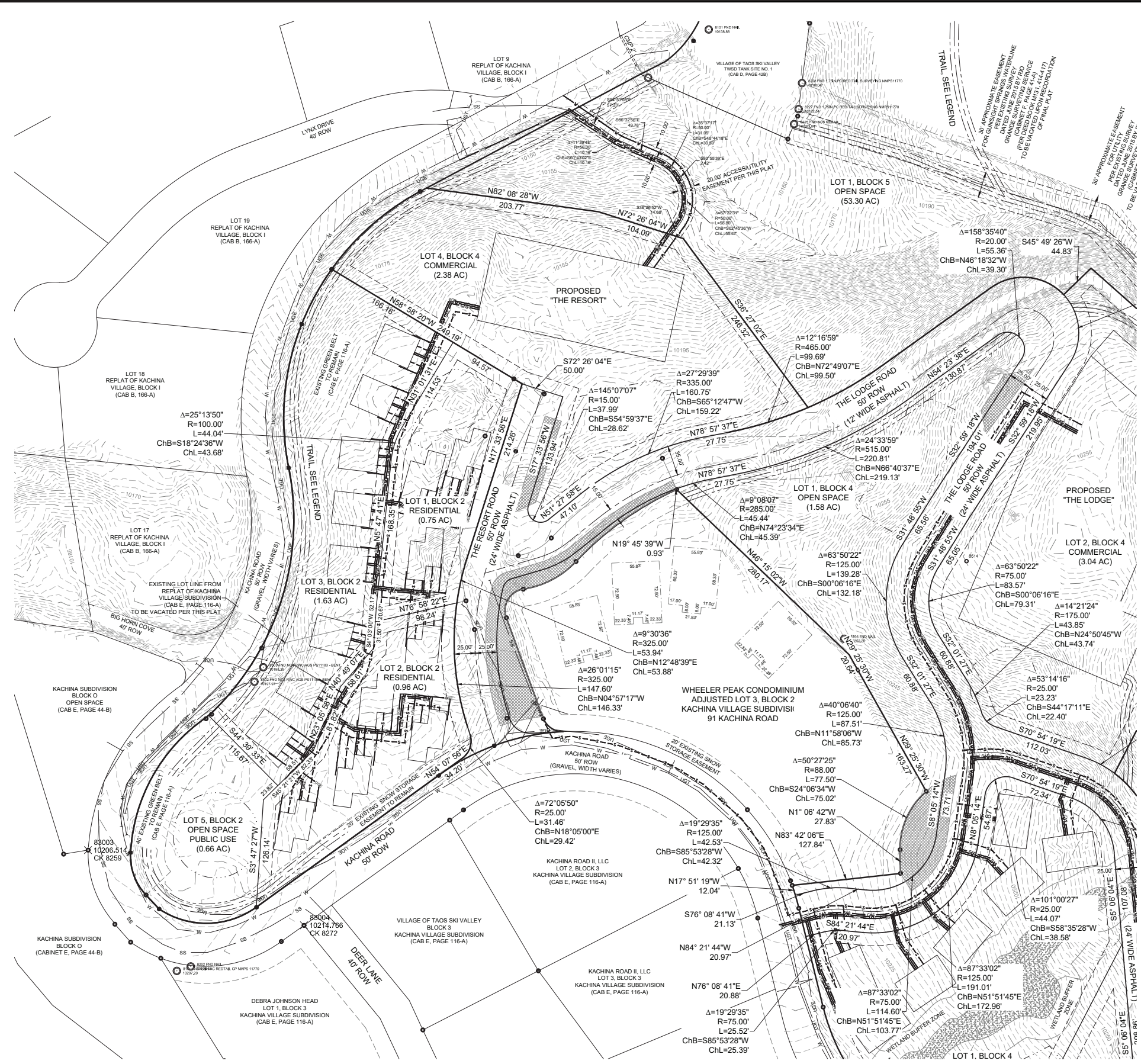
	By		Checked	
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<p><b>SOUDER, MILLER &amp; ASSOCIATES</b>                  Engineering • Environmental • Surveying                  Serving the Southwest &amp; Rocky Mountains                  5454 Venice Avenue NE, Suite D                  Albuquerque, NM 87113                  Phone: (505) 299-0942 Toll-Free: (877) 299-0942 Fax: (505) 293-3430                  www.soudermiller.com</p>				
<p>TAOS, NEW MEXICO</p> <p>THE LODGE &amp; RESORT AT TAOS SKI VALLEY                  SECTIONS 10 AND 15, TOWNSHIP 27 NORTH,                  RANGE 47 EAST, N.M.P.M., VILLAGE OF                  TAOS SKI VALLEY, TAOS COUNTY, NEW MEXICO</p>				
Designed	Drawn	Checked		
CLW	CLW	JDC		
Date: October 2019				
Scale: Horiz: 1" = 200'				
Vert: N/A				
Project No: 9427120				
Sheet:				
1 of 4				





0 60' 120'  
SCALE: 1" = 60'

- LEGEND:**
- SUBJECT PROPERTY LINE
  - ADJACENT PROPERTY LINES
  - PROPOSED LOT LINE
  - PROPOSED RIGHT OF WAY
  - - - PROPOSED EASEMENTS
  - - - PROPOSED 15' BUILDING SETBACK
  - W — EXISTING WATER LINE
  - UGE — EXISTING UNDERGROUND ELECTRIC LINE
  - G — EXISTING GAS LINE
  - SS — EXISTING SEWER LINE
  - UGT — EXISTING TELECOMMUNICATIONS LINE
  - ~ ~ ~ EXISTING STREAMS
  - ~ ~ ~ EXISTING SPRINGS
  - V — PROPOSED WATER LINE (REFERENCE ONLY)
  - S — PROPOSED SEWER LINE (REFERENCE ONLY)
  - UGE — PROPOSED UNDERGROUND ELECTRIC LINE (REFERENCE ONLY)
  - [ ] EXISTING BUILDING ENVELOPE
  - [ ] PROPOSED BUILDING ENVELOPE (REFERENCE ONLY)
  - [ ] PROPOSED DRAINAGE PONDS (REFERENCE ONLY)
  - [ ] EXISTING WETLANDS AREA
  - [ ] PROPOSED SNOW STORAGE AREA (REFERENCE ONLY)
  - - - PROPOSED TRAIL ALIGNMENT AND EASEMENT



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<p>TAOS, NEW MEXICO</p> <p><b>THE LODGE &amp; RESORT AT TAOS SKI VALLEY</b> SECTIONS 10 AND 15, TOWNSHIP 27 NORTH, RANGE 47 EAST, T.M.P.M. VILLAGE OF TAOS SKI VALLEY, TAOS COUNTY, NEW MEXICO</p>										
<p>SHOPOFF REALTY</p>										
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>Designed</td> <td>Drawn</td> <td>Checked</td> </tr> <tr> <td> </td> <td>CLW</td> <td>JDC</td> </tr> </table> <p>Date: October 2019 Scale: Horiz: 1" = 100' Vert: N/A Project No: 9427120 Sheet:</p>		Designed	Drawn	Checked		CLW	JDC			
Designed	Drawn	Checked								
	CLW	JDC								
<p>2 of 4</p>										

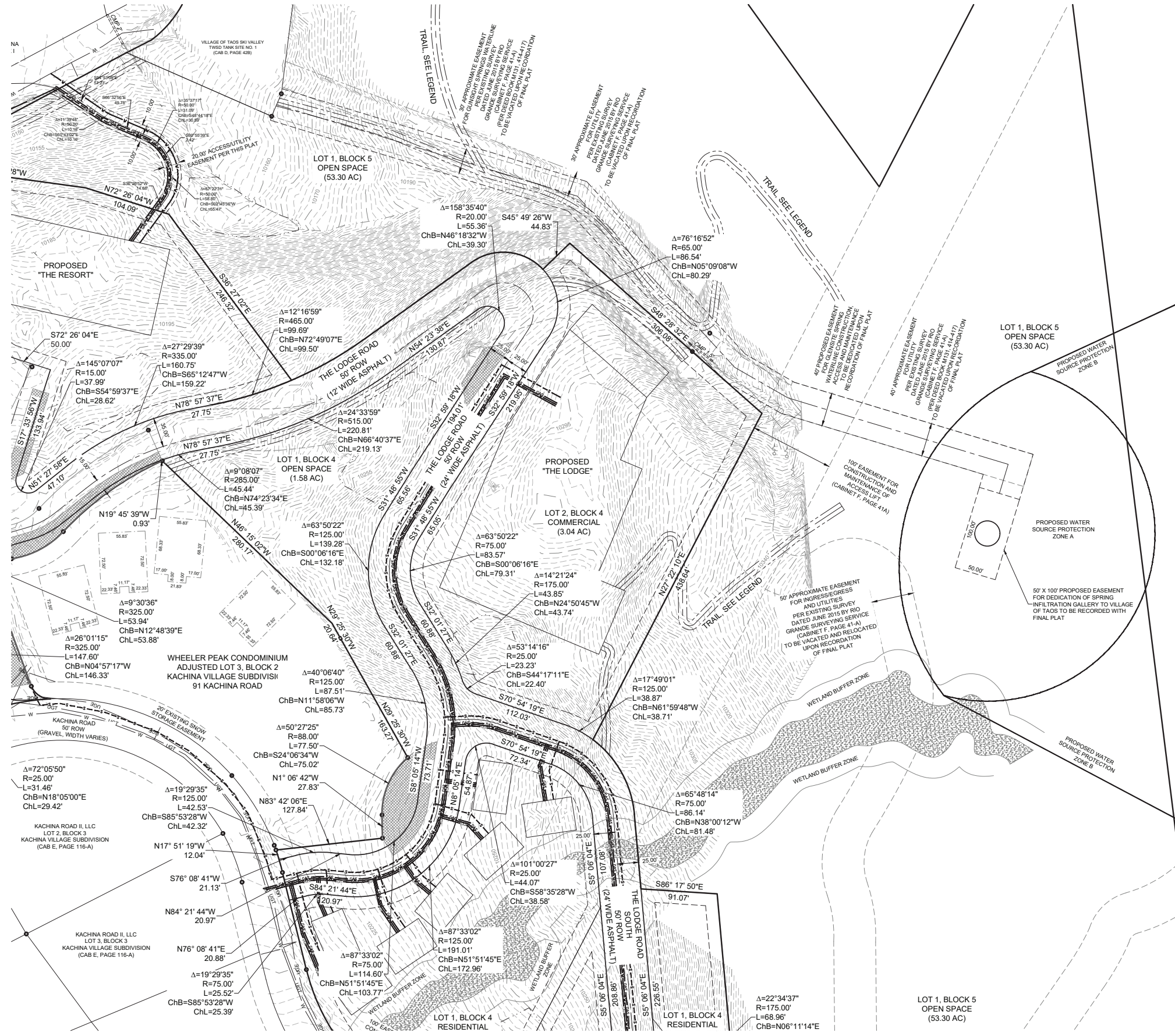




0 60' 120'  
SCALE: 1" = 60'

LEGEND:

- SUBJECT PROPERTY LINE
- ADJACENT PROPERTY LINES
- PROPOSED LOT LINE
- PROPOSED RIGHT OF WAY
- PROPOSED EASEMENTS
- PROPOSED 15' BUILDING SETBACK
- W EXISTING WATER LINE
- UGE EXISTING UNDERGROUND ELECTRIC LINE
- G EXISTING GAS LINE
- SS EXISTING SEWER LINE
- UGT EXISTING TELECOMMUNICATIONS LINE
- EXISTING STREAMS
- EXISTING SPRINGS
- W PROPOSED WATER LINE (REFERENCE ONLY)
- S PROPOSED SEWER LINE (REFERENCE ONLY)
- UGE PROPOSED UNDERGROUND ELECTRIC LINE (REFERENCE ONLY)
- EXISTING BUILDING ENVELOPE
- PROPOSED BUILDING ENVELOPE (REFERENCE ONLY)
- PROPOSED DRAINAGE PONDS (REFERENCE ONLY)
- EXISTING WETLANDS AREA
- PROPOSED SNOW STORAGE AREA (REFERENCE ONLY)
- PROPOSED TRAIL ALIGNMENT AND EASEMENT



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TAOS SKI VALLEY, TAOS COUNTY, NEW MEXICO

Designed	Drawn	Checked
CLW	CLW	JDC
Date:	October 2019	
Scale:	Horiz: 1" = 100' Vert: N/A	
Project No:	9427120	
Sheet:	3 of 4	

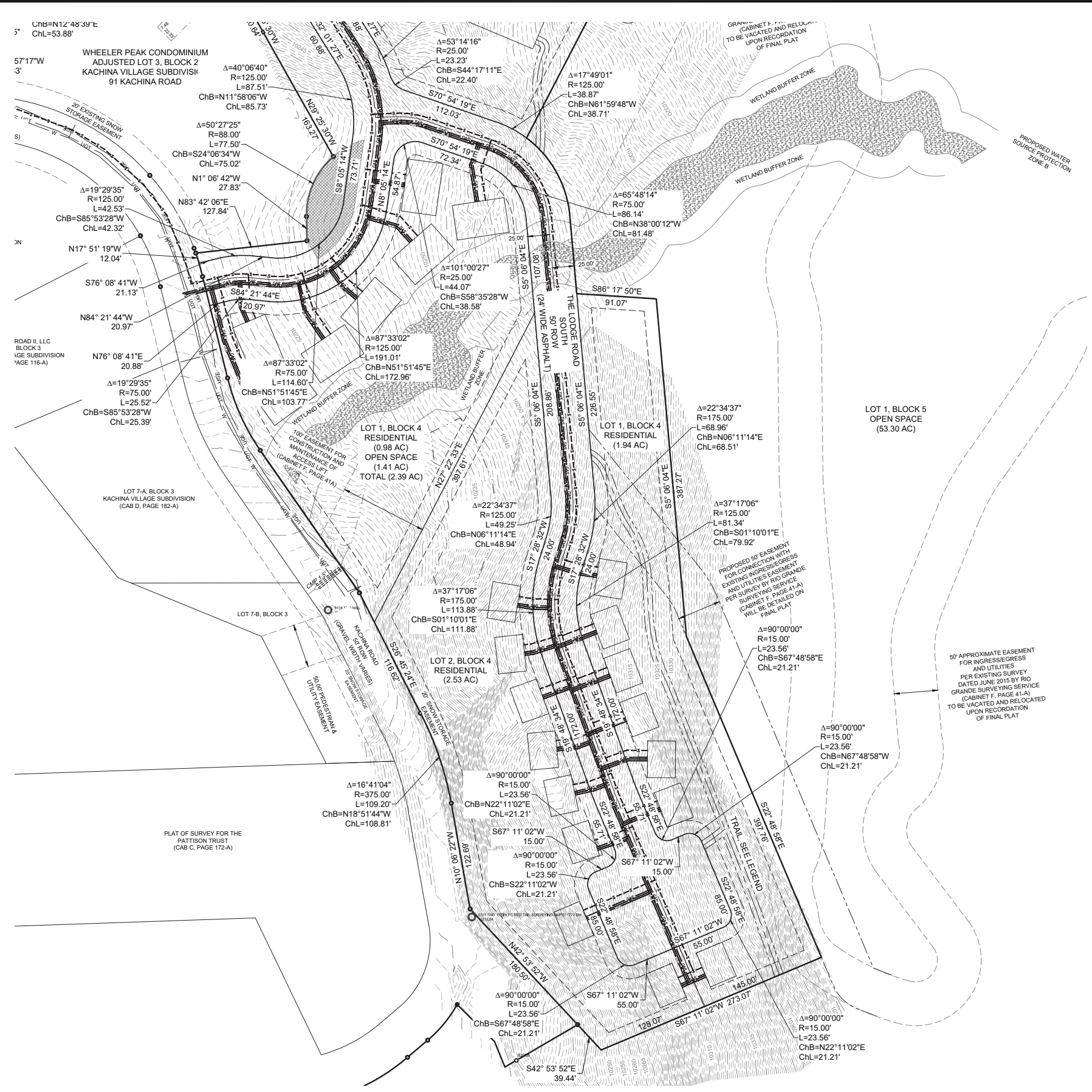
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P:19-Shopoff Taos Ski Valley (9427120)\Survey\01-DWG\Shopoff Ski Valley Preliminary Plat ver 2018.dwg, 10/15/2019 5:14:19 PM MKF





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Rev #	Date	Description

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Sheet: **4 of 4**